

Proposed Stage 2 Unit Layout

1:3000





Seniors Housing 'Shortland Waters' 2/90 Vale Street,
Brimingham Gardens, Shortland NSW 2307
A 5 0 0 0 11 1

Aveo Reti	rement Living

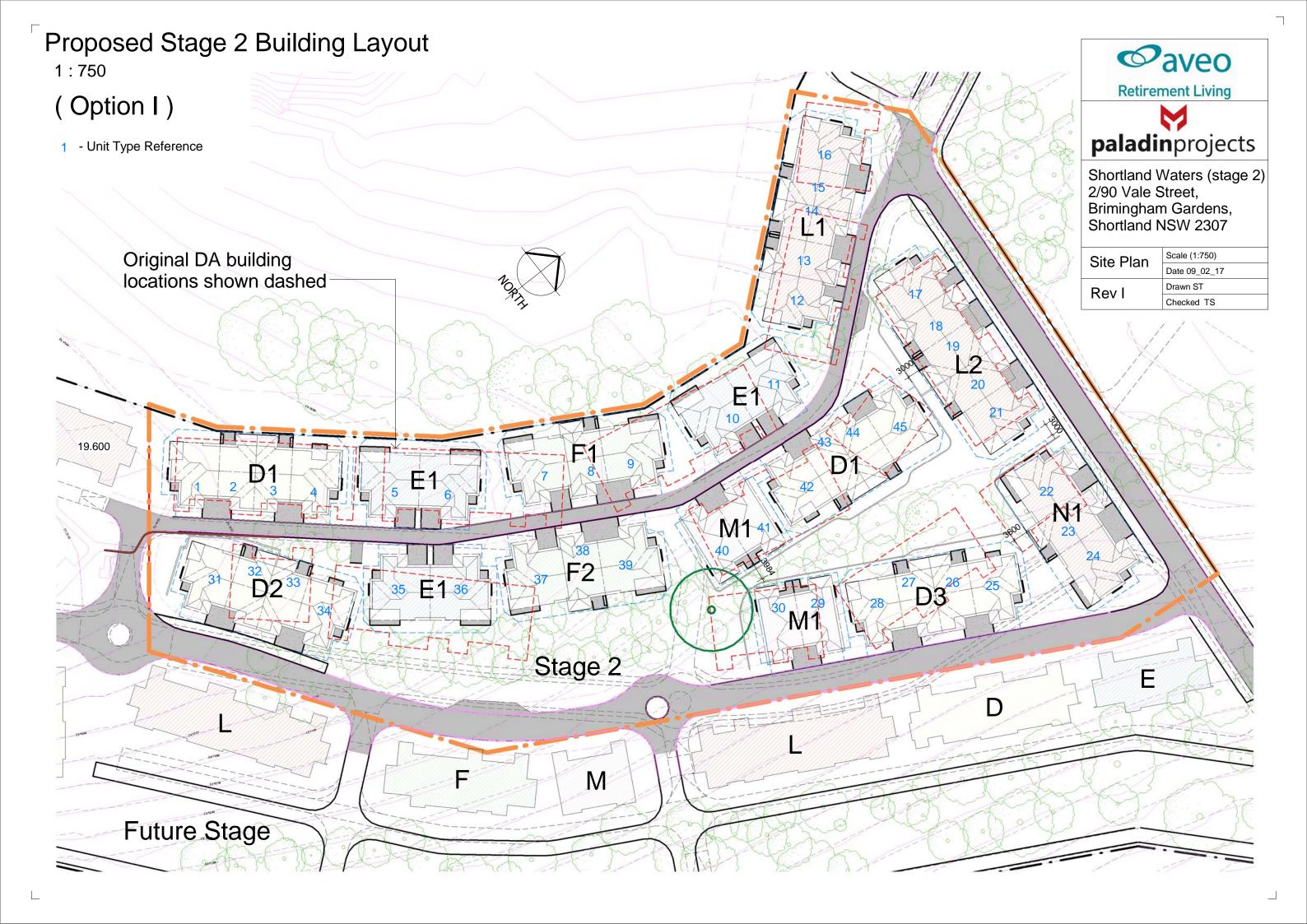
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CURRENT REVISION /			SCALE	1 : 3000 o	n A3
SSUED DATE			DATE DRAWN	01/02/201	7
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST	CHK

FACADE

Site Master Plan V2015.A

CHKD TS

SHEET# 02





GENERAL NOTES:

- All dimensions in millimetres.
- 2. Dimensions take preference to scale and are to structure not finish.
- 3. Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the Building Code of Australia and all relevant current Australian Standards. Any
 outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturers specification means a current approved specification for use under the conditions applicable.
- UNO = Unless Noted Otherwise.
 - DPC = Damp Proof Course.
 - OMP = Outer Most Point.
- It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- 8. Provide a Thermostatic mixing valve to all the hot water outlets.

These plans are to be read in conjuction with any structural and civil engineering computions and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

Provide articulation joins to engineers details

All works shall comply with but not limited to the National Construction Code, the Building Code of Australia, referenced standards and the Australian Standards listed below.

- AS 1288 1994 GLASS IN BUILDINGS SELECTION AND INSTALLATION
- AS 1562 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 1999 NATIONAL TIMBER FRAMING CODE
- AS 2049 1992 ROOF TILES
- AS 2050 1995 INSTALLATION OF ROOF TILES
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- AS INZS 2904 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 1994 CONCRETE STRUCTURES
- AS 3660 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 1998 MASONRY IN BUILDINGS
- AS 3786 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 4055 1992 WIND LOADING FOR HOUSES
- AS 4100 1996 STEEL STUCTURES

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THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE

BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

SEPP

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) #5 (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) - 2004

Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/16
В	Move clothsline	01/02/17

5 Sections/Details A 6 Slab Plan A 7 Electrical Plan A

Sheet Name

National Construction Code Air Conditioning Natural Ground Line Above Floor Level Awning Window Overhead Cupboard Australian Height Datum Plumbing Stack / Duct Australian Standards Relative Level Construction Joint Sliding / Fixed panel in a Cavity Sliding Door sliding glass door or window Double Hung Window Steel Post TBC To be confirmed Downpipe Towel Rail/Nogging Position Fixed Glass UBO Under Bench Oven Floor Space Ratio WO Wall Oven Floor Waste Microwave Feature Wall Colour Washing Machine Hot Water System Walk In Robe Load Bearing Wall

Sheet List

Current

Revision

В

Α

Current

evision Date

01/02/17

01/02/17

20/12/16

20/12/16

20/12/16

20/12/16

20/12/16

Current

evision Issued

SVT

SVT

SSH

SSH

SSH

SSH

SSH

Legend :-

Title Page

Floor Plan

Elevations

Elevations

Sheet

Number



3D Front

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point
- where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- b. All remaining sizes of items deduced from Australian Domestic Construction Manual or
- relevant manufacturers specification.
- Sizes of timber members may vary upon ordering requirements but must remain within the guidelines
 of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

WET AREA SURFACES

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.



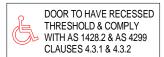


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

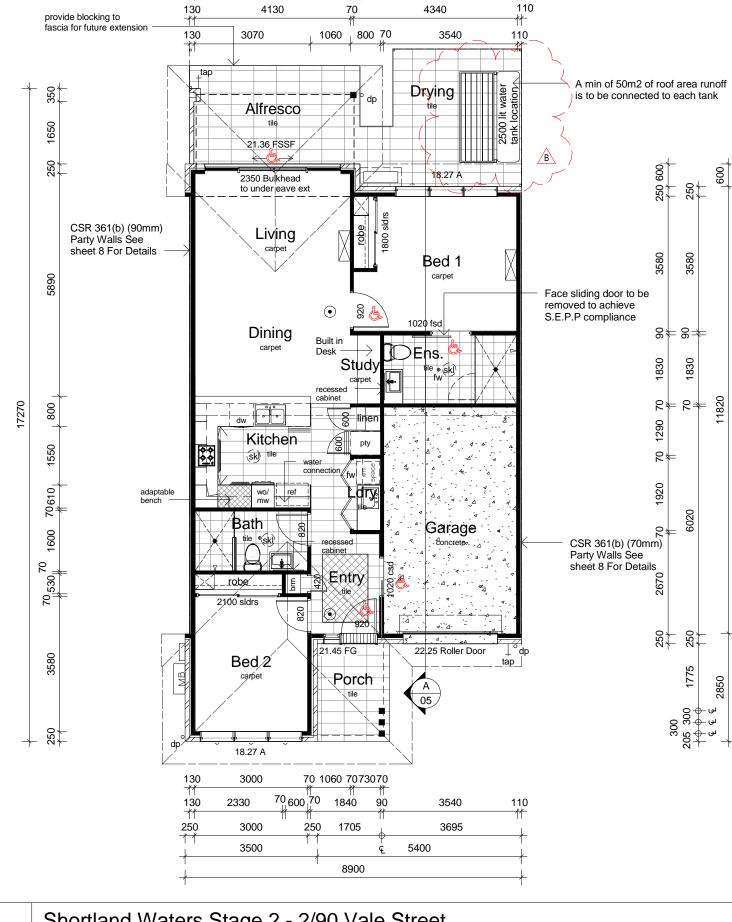
Aveo Retirement Living

				PLAN	Dwellir V2015.A	ng Type	1CL		
				FACADE	Metal Roc	f / Render			
	CURRENT REVISION / B 01/02/17		SCALE	1 : 100 oı	n A3				
	ISSUED DATE		01/02/11	DATE DRAWN	01/02/201	7	JOB #:	03	
R	REAL PROPERTY DESCRIPTION			DRAWN	ST	CHKD	TS	SHEET#	01

Area Schedule						
Name	Area	Squares				
Living	94.68 m ²	10.19				
Garage	23.23 m ²	2.50				
Alfresco	11.73 m ²	1.26				
Porch	4.93 m ²	0.53				
	134.57 m ²	14.48				







8780

250

110

CURRENT REVISION / ISSUED DATE

LOT / DP





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120

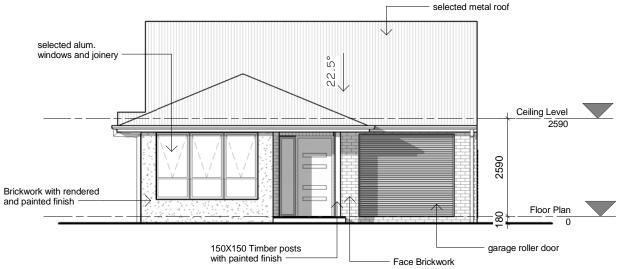
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	PLAN	Dwelling Type 1CL V2015.A				
	FACADE	Metal Roof / Render				
01/02/17	SCALE	As indicat	ed on A3			
01/02/17	DATE DRAWN	01/02/201	7	JOB #:	03	
Р	DRAWN	ST	CHKD	TS	SHEET #	02

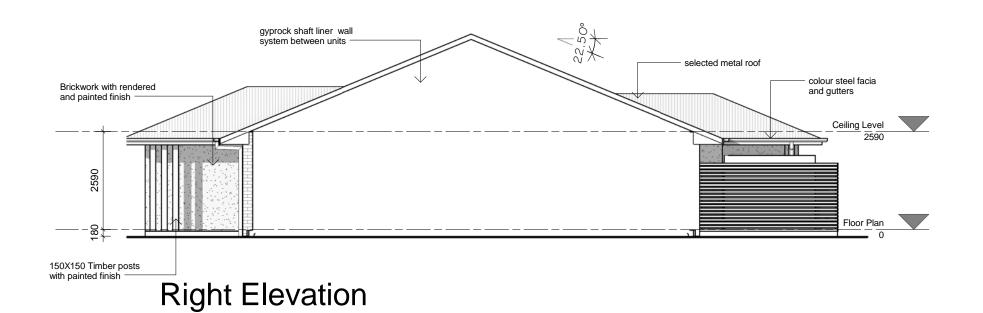
ratchet restriction).

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with



Front Elevation

1:100







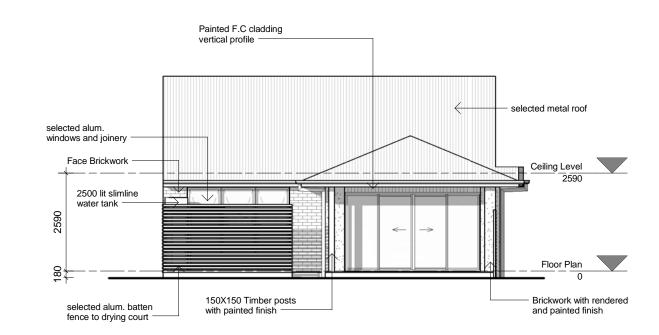
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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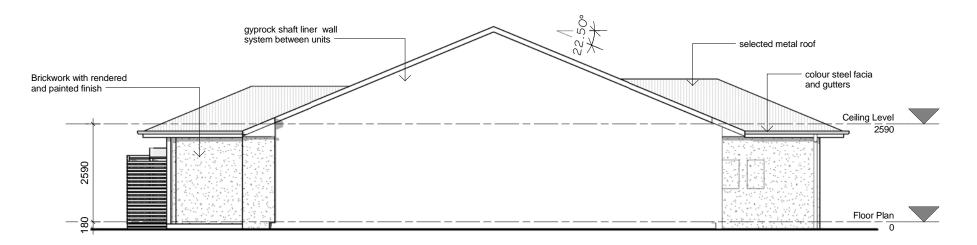
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Rear Elevation

1:100



Left Elevation

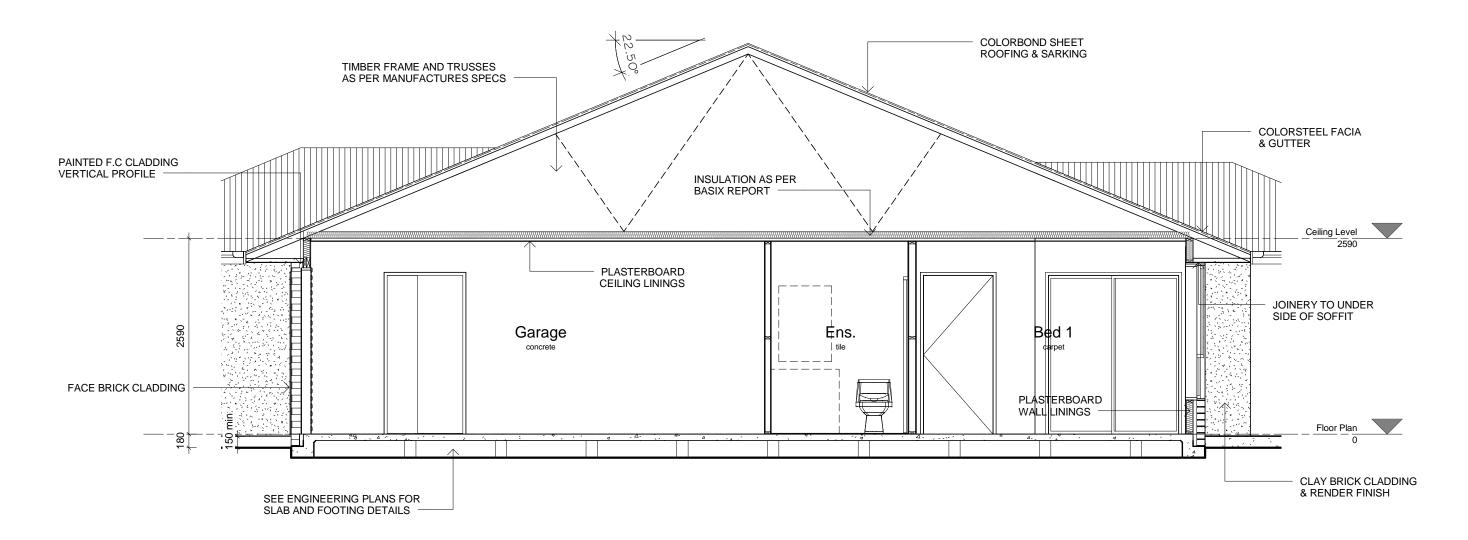
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Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

			PLAN	Dwellir V2015.A	ng Type	: 1CL		
			FACADE	Metal Roc	f / Render			
CURRENT REVISION /	REVISION / A 20/12/16		SCALE	1 : 100 or	1 : 100 on A3			
ISSUED DATE	^	DATE		01/02/201	7	JOB #:	03	
REAL PROPERTY DESCRIPTION			DRAWN	ST	CHKD	TS	SHEET#	04



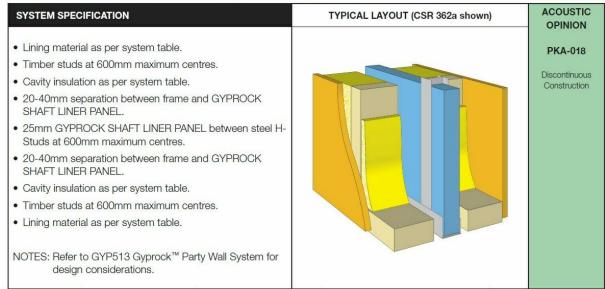
Section A-A

1:50

Party Wall (CSR 361(b) or Equal)

FRL	SYSTEM	32	STUD DEPTH mm	70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	R _w / F	R _w +C _{tr}
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60 EWFA 45743		BOTH SIDES • 2 x 10mm GYPROCK	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
		Plasterboard CD.	(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier

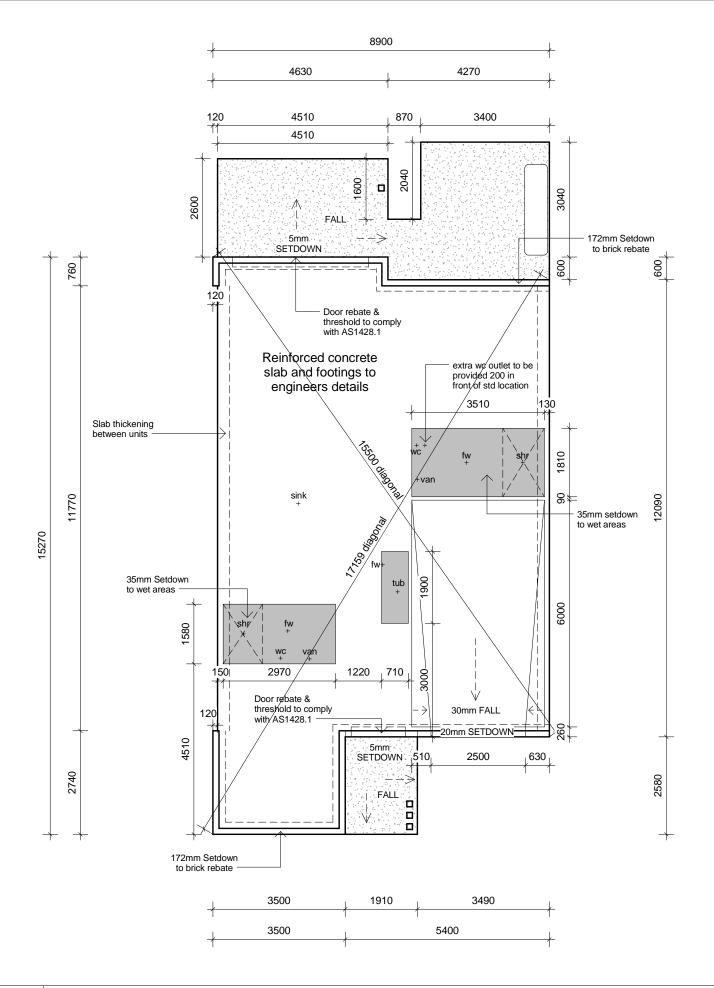






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			PLAN	Dwellir V2015.A	ng Type	1CL		
			FACADE	Metal Roo	of / Render			
CURRENT REVISION /	ON / A 20/12/16		SCALE	1 : 50 on	A3			
ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST CHKD TS SHEET#		05		



- all dimensions to be confirmed on site all construction to be as per soil engineers details - slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &





Slab Plan

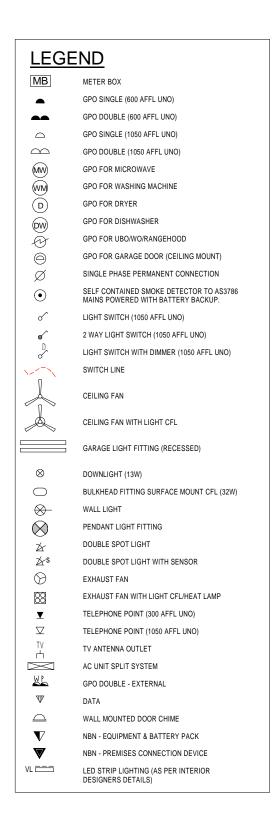
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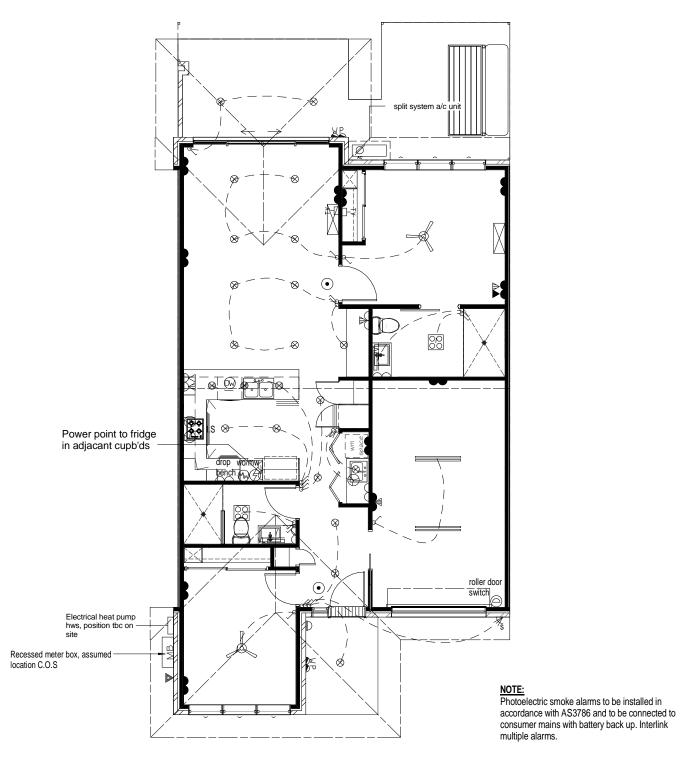
Aveo Retirement Living

	CURRENT REVISION /	Α	20/12/16	SC
	ISSUED DATE	20/12/10		
	REAL PROPERTY DESCRIPTION	LOT / D	P	DR
	DESCRIPTION			DI

PLAN	Dwelling Type 1CL V2015.A					
FACADE	Metal Roof / Render					
SCALE	1 : 100 on A3					
DATE DRAWN	01/02/2017		JOB #:	03		
DRAWN	ST	CHKD	TS	SHEET#	06	



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



Electrical Plan

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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Dwelling Type 1CL V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN SHEET# 07 CHKD TS

PLAN

ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM. -SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L -GPO'S AT LEAST 600mm HIGH A.F.L -ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER. -GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE REACHED WITH FRIDGE INSTALLED

-ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE REQUIREMENTS OF SEPP 5.

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

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Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/16
В	Move Clothsline	01/02/17
		•

Sheet

Number

AC	Air Conditioning	NCC	National Construction Code
AFL	Above Floor Level	NGL	Natural Ground Line
Α	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or window
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Position
FG	Fixed Glass	UBO	Under Bench Oven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe

Sheet List

Sheet Name

Current

Revision

В

Α

Current

Revision Date

01/02/17

01/02/17

20/12/16

20/12/16

20/12/16

20/12/16

20/12/16

Current

evision Issued

SVT

SVT

SSH

SSH

SSH

SSH

SSH

Legend:-

Title Page

Floor Plan

Elevations

Elevations

Slab Plan

Sections/Details

Electrical Plan

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HWS	Hot Water System	WIR	Walk In Robe
LBW	Load Bearing Wall		



3D Front

SITE WORKS

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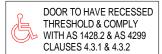


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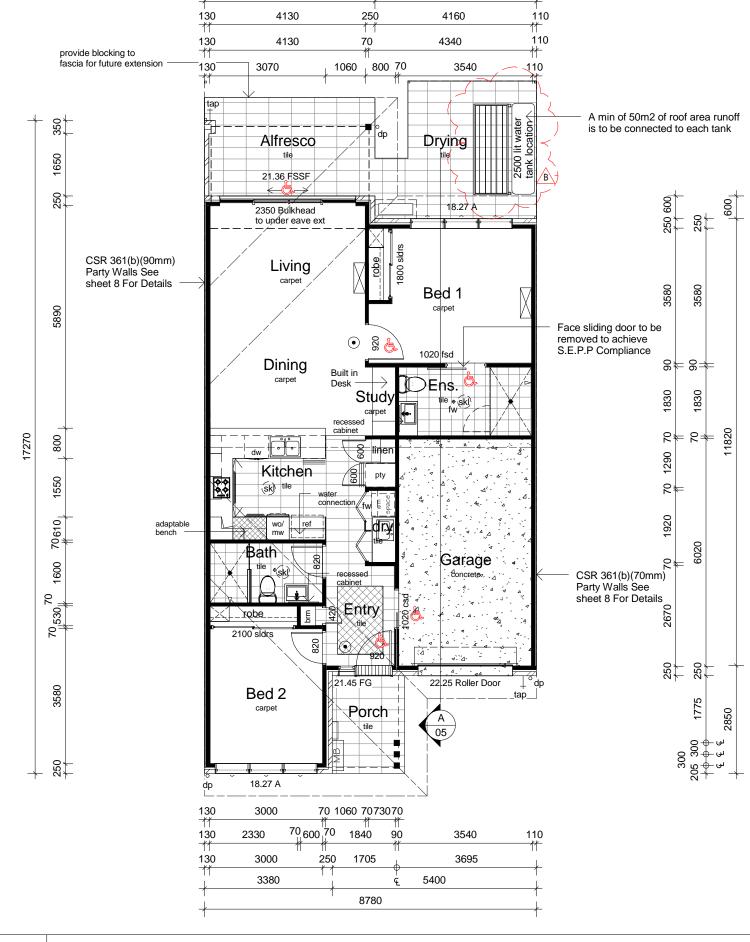
Aveo Retirement Living

		PLAN	Dwelling Type 1CL-sr V2015.A						
				FACADE	Metal Roof / Render				
	CURRENT REVISION / B		01/02/17	SCALE	1 : 100 on A3				
	ISSUED DATE		01/02/11	DATE DRAWN	01/02/201	7	JOB #:	03	
DR	REAL PROPERTY DESCRIPTION LOT / DP		Р	DRAWN	ST	CHKD	TS	SHEET#	01

Area Schedule						
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4510

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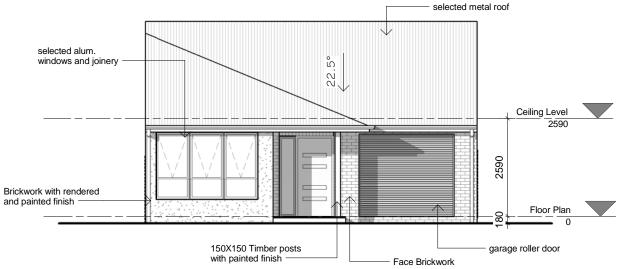


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 Aveo Retirement Living

ent Living	CURRENT REVISSUED DATE
TY LTD, ALL RIGHTS RESERVED, ANY DISCREPANCY OR DEVIATION FROM THIS PLAN IS TO BE REPORTED TO PALADIN PROJECTS PTY LTD FOR ACCEPTED FOR UNREPORTED DEVIATIONS OR ALTERATIONS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES.	REAL PROPER DESCRIPTION

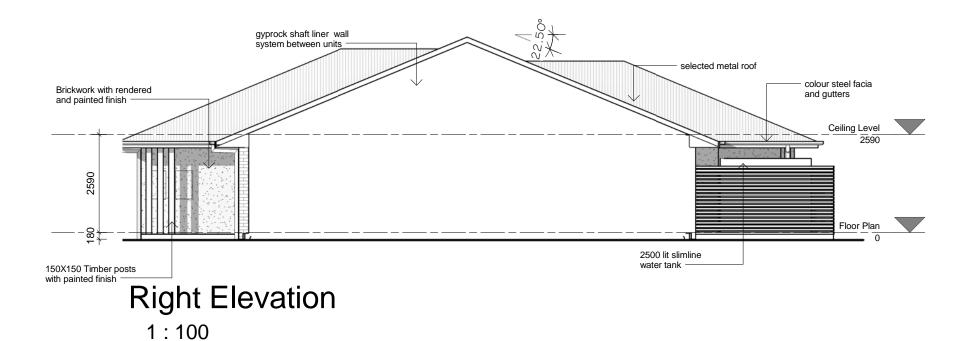
FACADE Metal Roof / Render SCALE As indicated on A3 DATE DRAWN 01/02/2017 JOB #: 03 DRAWN ST. CHICD TS. SHEET # 00			PLAN	Dwelling Type 1CL-sr V2015.A					
DATE DRAWN 01/02/2017 JOB #: 03			FACADE	Metal Roo	Metal Roof / Render				
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LOT / DP		Y B 01/02/17	DATE DRAWN	01/02/201	7	JOB #:	03		
DRAWN SI CHAD IS SHEET# 02	PERTY ON	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	02

- Refer to colour specifications schedule for detailed internal and external colours/materials
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Front Elevation

1:100



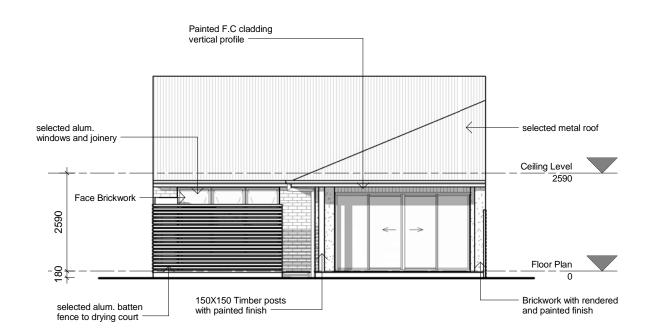




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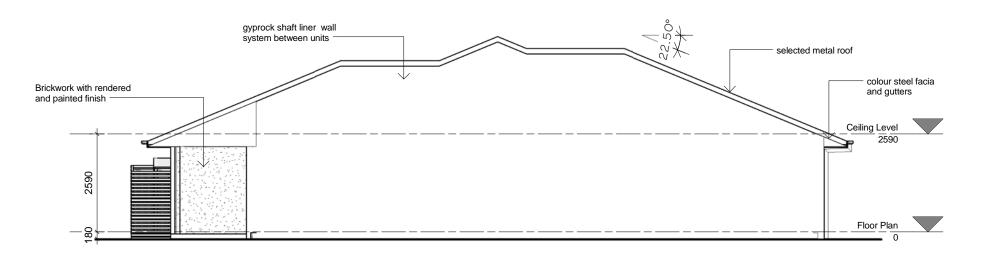
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Rear Elevation

1:100



Left Elevation

1:100

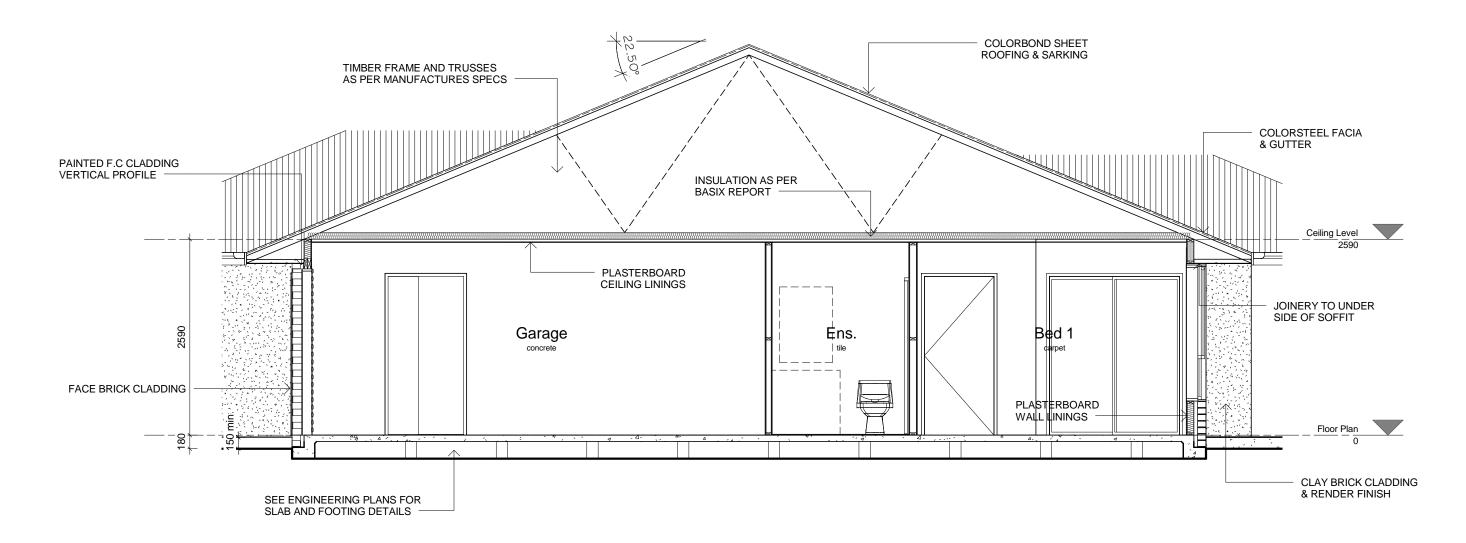




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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Dwelling Type 1CL-sr PLAN V2015.A **FACADE** Metal Roof / Render SCALE 1:100 on A3 CURRENT REVISION / ISSUED DATE 20/12/16 DATE DRAWN 01/02/2017 JOB #: 03 LOT / DP DRAWN CHKD TS SHEET# 04



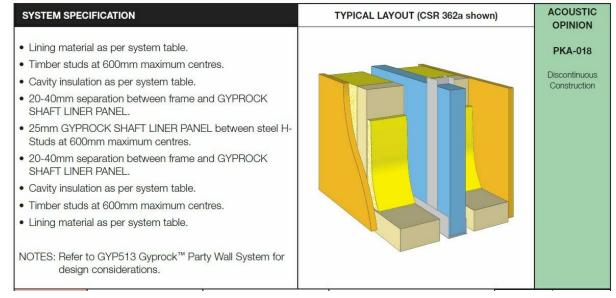
Section A-A

1:50

Party Wall (CSR 361(b) or Equal)

FRL SYSTEM Report/Opinion N° WALL		STUD DEPTH mm	70	90
	WALLLININGS		CAVITY INFILL Both sides (Refer to Section 'A')	R _W / R _W +Ctr
	0/60/60 BOTH SIDES	(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60		BOTH SIDES • 2 x 10mm GYPROCK	(b) 90 Gold Batts™ 2.7	62/ 50
EWFA 45743	Plasterboard CD.	(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
		WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier







Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

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	CURRENT REVISION / ISSUED DATE
ECTS PTY LTD FOR	REAL PROPERTY
ZES.	DESCRIPTION

		FACADE	Metal Roo	of / Render		
A 20/12/16	SCALE 1 : 50 on A3		A3	(3		
	20/12/10	DATE DRAWN	01/02/201	7		
LOT / DP		DRAWN	ST	CHKD	ŀ	

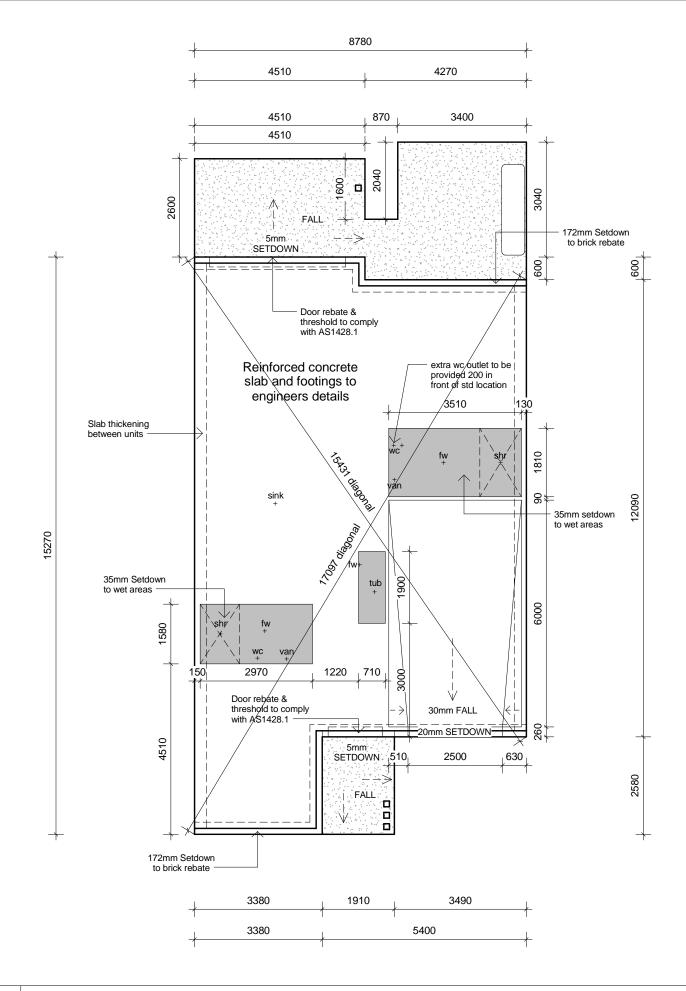
PLAN

Dwelling Type 1CL-sr

JOB #: 03

SHEET# 05

V2015.A



- all dimensions to be confirmed on site
 all construction to be as per soil engineers details
 slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &

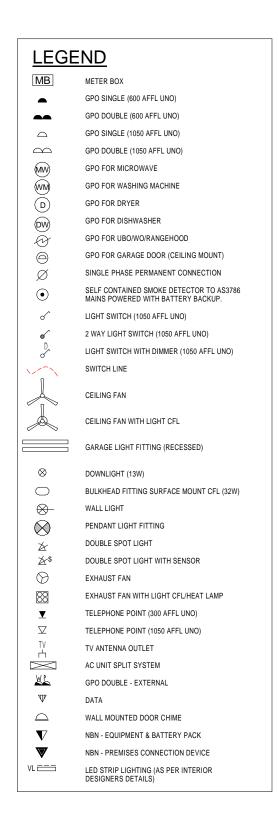
Slab Plan 1:100



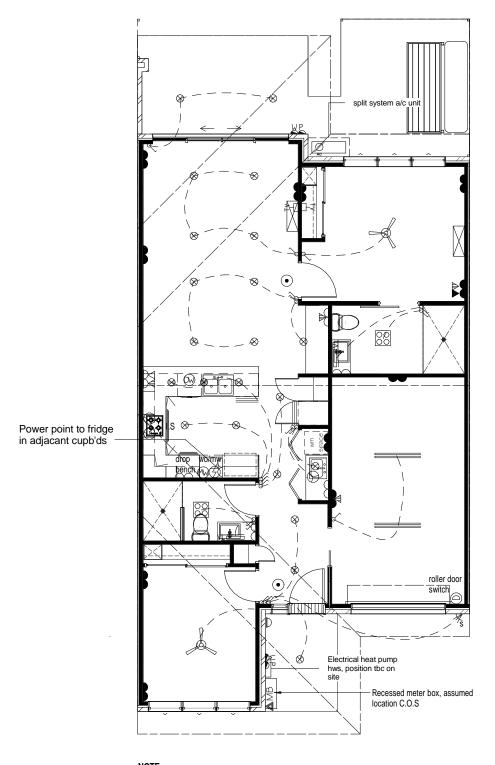


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 Aveo Retirement Living

			PLAN	Dwellir V2015.A	ng Type	1CL-s	r	
			FACADE	Metal Roc	f / Render			
CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 on A3				
ISSUED DATE	DATE A 20/12/10		DATE DRAWN	01/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN ST		CHKD	TS	SHEET#	06



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



Electrical Plan
1:100

NOTE:
Photoelectric smoke alarms to be installed in accordance with AS3786 and to be connected to consumer mains with battery back up. Interlink multiple alarms.

Retirement Living



Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

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Dwelling Type 1CL-sr PLAN V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN SHEET# 07 CHKD

ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR DESIGNERS DRAWINGS)

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM.
-SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L
-GPO'S AT LEAST 600mm HIGH A.F.L
-ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER.
-GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE REACHED WITH FRIDGE INSTALLED
-ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE REQUIREMENTS OF SEPP 5.

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

GENERAL NOTES:

- All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish.
- Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the Building Code of Australia and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturers specification means a current approved specification for use under the conditions applicable.
- UNO = Unless Noted Otherwise.
 - DPC = Damp Proof Course.
 - OMP = Outer Most Point.
- 7. It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- 8. Provide a Thermostatic mixing valve to all the hot water outlets.

These plans are to be read in conjuction with any structural and civil engineering computions and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

Provide articulation joins to engineers details

All works shall comply with but not limited to the National Construction Code, the Building Code of Australia, referenced standards and the Australian Standards listed below.

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- AS 1562 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 1999 NATIONAL TIMBER FRAMING CODE
- AS 2049 1992 ROOF TILES
- AS 2050 1995 INSTALLATION OF ROOF TILES
- AS 2870 1996 RESIDENTIAL SLAB AND FOOTINGS CONSTRUCTION
- AS /NZS 2904 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 1994 CONCRETE STRUCTURES
- AS 3660 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 1998 MASONRY IN BUILDINGS
- AS 3786 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 4055 1992 WIND LOADING FOR HOUSES
- AS 4100 1996 STEEL STUCTURES

THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) #5 (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) -2004

Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/16
В	Move Clothsline	01/02/17
		•

Sheet List Current Sheet Current Current evision Issued Sheet Name Revision Number Revision Date Title Page В 01/02/17 SVT Floor Plan 01/02/17 SVT Elevations SSH 20/12/16 SSH Elevations 20/12/16 SSH Sections/Details 20/12/16 Slab Plan SSH Α 20/12/16 SSH Electrical Plan 20/12/16

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point
- where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- b. All remaining sizes of items deduced from Australian Domestic Construction Manual or
- relevant manufacturers specification.
- c. Sizes of timber members may vary upon ordering requirements but must remain within the guidelines of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

WET AREA SURFACES

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

Legend:-

AC AFL	Air Conditioning Above Floor Level	NCC NGL	National Construction Coo Natural Ground Line
Α	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or winde
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Positi
FG	Fixed Glass	UBO	Under Bench Oven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe
LBW	Load Bearing Wall		



3D Front





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

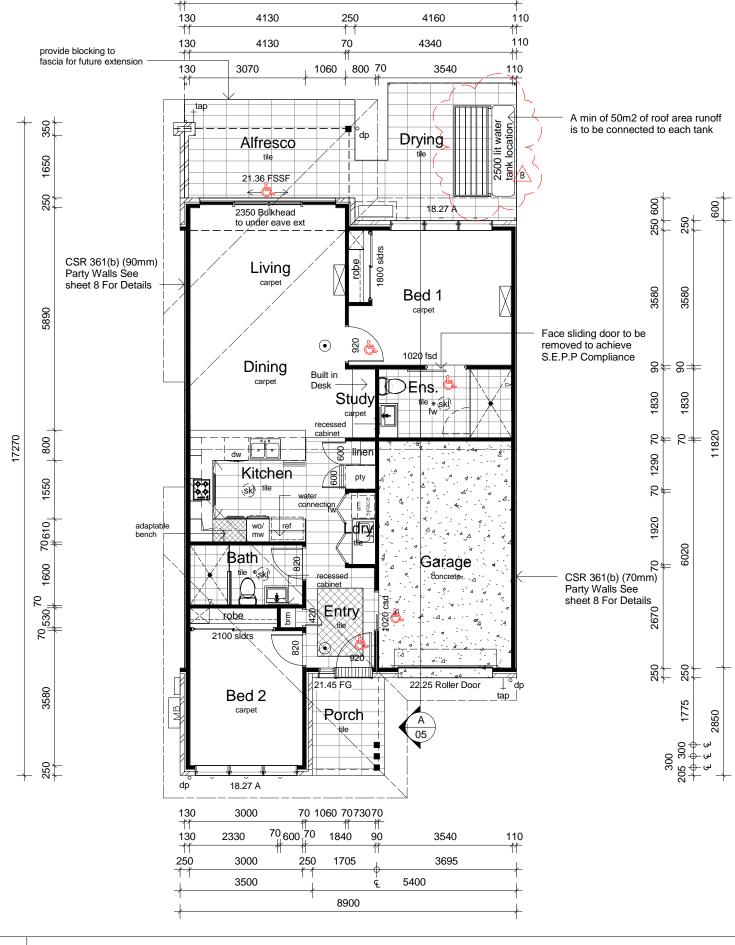
Aveo Retirement Living

				PLAN	Dwellir V2015.A	ng Type	1CL-s	r(b)	
				FACADE	Metal Roo	of / Render			
	CURRENT REVISION / B 01/02/17		SCALE	1 : 100 on A3					
	ISSUED DATE			DATE DRAWN	01/02/2017		JOB #:	03	
OR	REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST	CHKD	TS	SHEET#	01

Area Schedule						
Name	Area	Squares				
Living	94.75 m ²	10.19				
Garage	23.23 m ²	2.50				
Alfresco	11.74 m²	1.26				
Porch	4.93 m ²	0.53				
	134.65 m ²	14.49				







8780

250

4130

120





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 Aveo Retirement Living

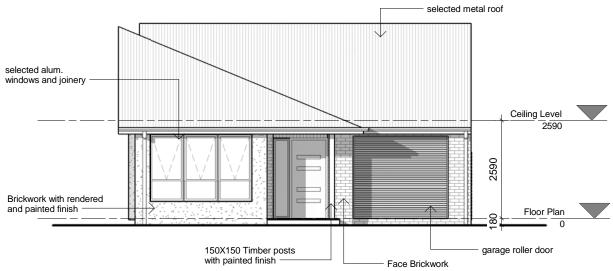
	CURRENT REVISION / ISSUED DATE	
CTS PTY LTD FOR ES.	REAL PROPERTY DESCRIPTION	

01/02/17

LOT / DP

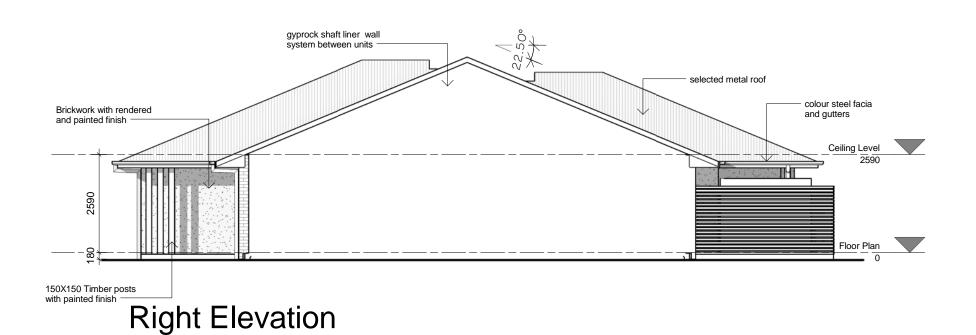
Dwelling Type 1CL-sr(b) PLAN V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 DATE DRAWN 01/02/2017 JOB #: DRAWN CHKD TS SHEET# 02

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Front Elevation

1:100







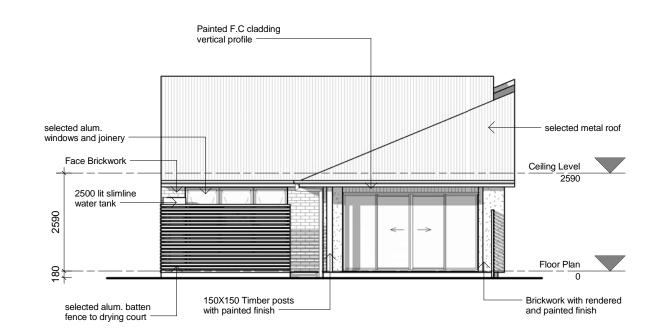
1:100

Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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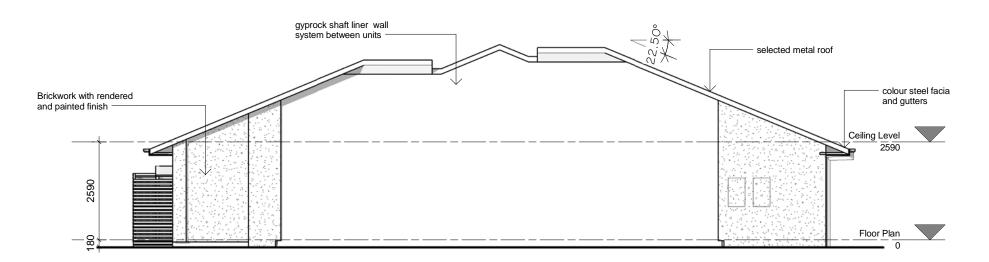
			PLAN	Dwellir V2015.A	ng Type	1CL-s	r(b)	
			FACADE	Metal Roo	f / Render			
CURRENT REVISION / A 20/12/16		20/12/16	SCALE	1 : 100 on A3				
ISSUED DATE			DATE DRAWN	01/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION			DRAWN	ST	CHKD	TS	SHEET#	03

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Left Elevation

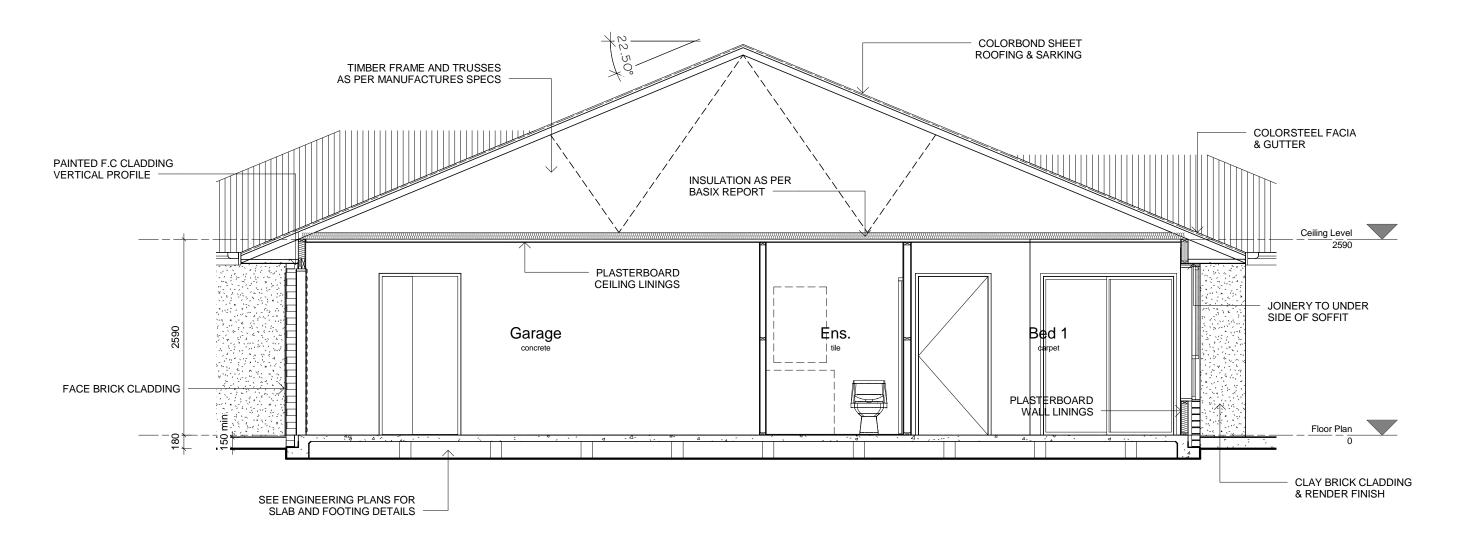
1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

			PLAN	Dwellir V2015.A	ng Type	1CL-s	r(b)	
			FACADE	Metal Roc	f / Render			
CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 on A3				
ISSUED DATE			DATE DRAWN	01/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST CHKD TS		TS	SHEET#	04



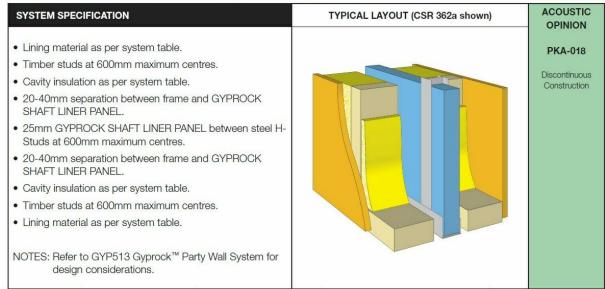
Section A-A

1:50

Party Wall (CSR 361(b) or Equal)

FRL	SYSTEM		STUD DEPTH mm	70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	Rw / Rw+Ctr	
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60		BOTH SIDES • 2 x 10mm GYPROCK	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
EWFA 45743		Plasterboard CD.	(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier



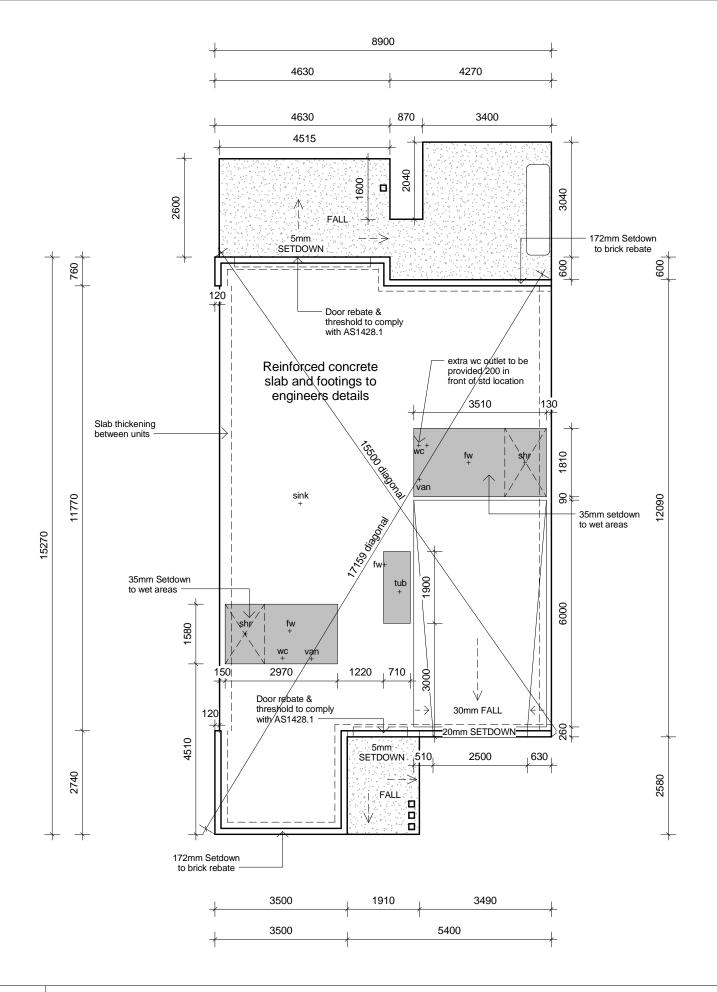




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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			PLAN	Dwellir V2015.A	ng Type	1CL-s	r(b)	
			FACADE	Metal Roc	f / Render			
CURRENT REVISION /	Α	20/12/16	SCALE	1 : 50 on A3				
ISSUED DATE		DATE DR		01/02/2017 JOB #: 03		03		
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST CHKD TS SHEET#		05		



- all dimensions to be confirmed on site all construction to be as per soil engineers details - slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &





Slab Plan

1:100

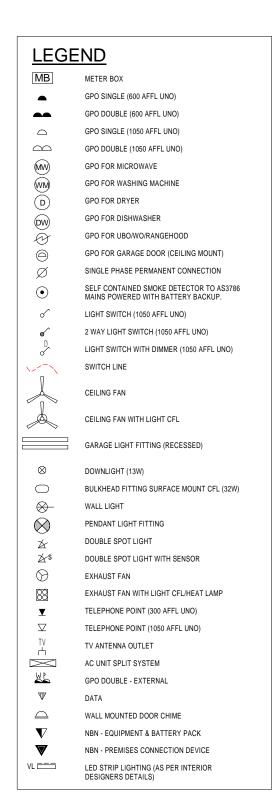
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 Aveo Retirement Living

			FACADE	Metal Roc	of / Render			
CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 on A3				
ISSUED DATE	A 20/12/1	20/12/10	DATE DRAWN	01/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST CHKD		TS	SHEET#	06

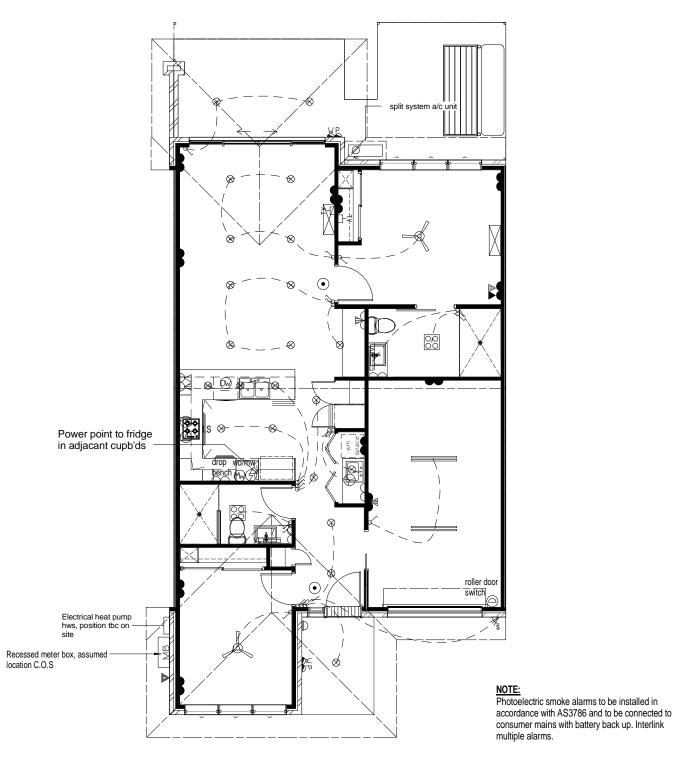
PLAN

Dwelling Type 1CL-sr(b)

V2015.A



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



Electrical Plan

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

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Dwelling Type 1CL-sr(b) PLAN V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN SHEET# 07 CHKD TS

ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR DESIGNERS DRAWINGS)

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM.

-SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L -GPO'S AT LEAST 600mm HIGH A.F.L -ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN

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Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

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BASI

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SEPP

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Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/16
В	Move Clothsline	01/02/17

Sheet List							
Sheet Number	Sheet Name	Current Revision	Current Revision Date	Current Revision Issued By			
01	Title Page	В	01/02/17	SVT			
02	Floor Plan	В	01/02/17	SVT			
03	Elevations	Α	20/12/16	SSH			
04	Elevations	Α	20/12/16	SSH			
05	Sections/Details	Α	20/12/16	SSH			
06	Slab Plan	Α	20/12/16	SSH			
07	Electrical Plan	Α	20/12/16	SSH			

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Legend :-

AC AFL	Air Conditioning Above Floor Level	NCC NGL	National Construction Code
A	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or windov
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Position
FG	Fixed Glass	UBO	Under Bench Oven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe
LBW	Load Bearing Wall		



3D Front



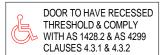


Shortland Waters Stage 1 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

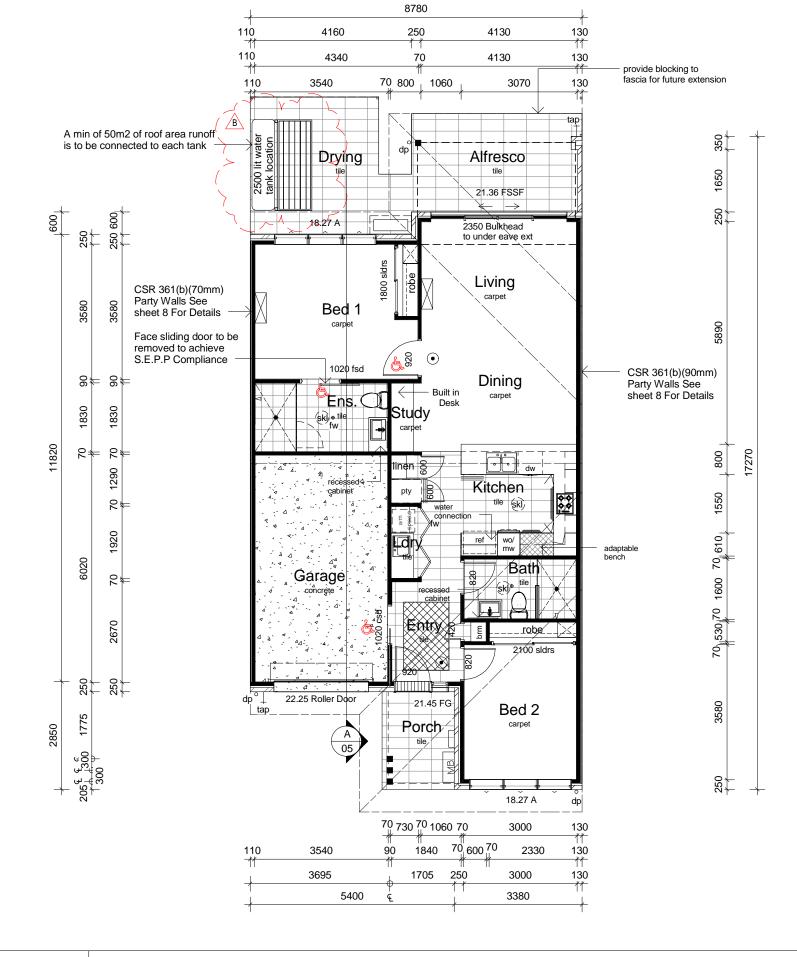
Aveo Retirement Living

		PLAN	Dwelling Type 1CR-sr V2015.A						
			FACADE	Metal Roof / Render					
	CURRENT REVISION / B 01/02/17 ISSUED DATE R REAL PROPERTY DESCRIPTION LOT / DP		01/02/17	SCALE	1 : 100 on A3				
			01/02/17	DATE DRAWN	01/02/201	7	JOB #:	03	
OR			DRAWN	ST	CHKD	TS	SHEET#	01	

Area Schedule				
Name	Area	Squares		
Living	94.34 m ²	10.15		
Garage	23.23 m ²	2.50		
Alfresco	11.73 m²	1.26		
Porch	4.93 m ²	0.53		
	134.23 m²	14.44		











Shortland Waters Stage 1 - 2/90 Vale Street,
Brimingham Gardens, Shortland NSW 2307
Aveo Retirement Living

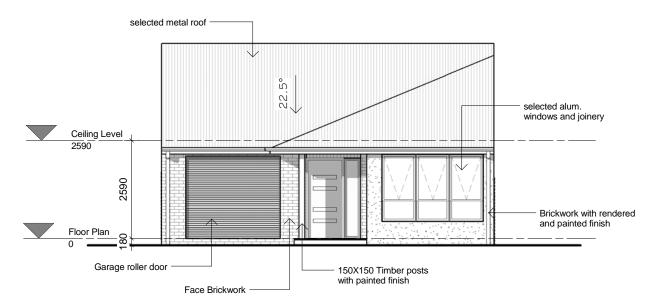
	CURRENT REVISION / ISSUED DATE	
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	PLAN	Dwelling Type 1CR-sr V2015.A				
	FACADE	Metal Roof / Render				
-	SCALE	As indicated on A3				
4	DATE DRAWN	01/02/2017		JOB #:	03	
	DRAWN	ST	CHKD	TS	SHEET#	02

01/02/17

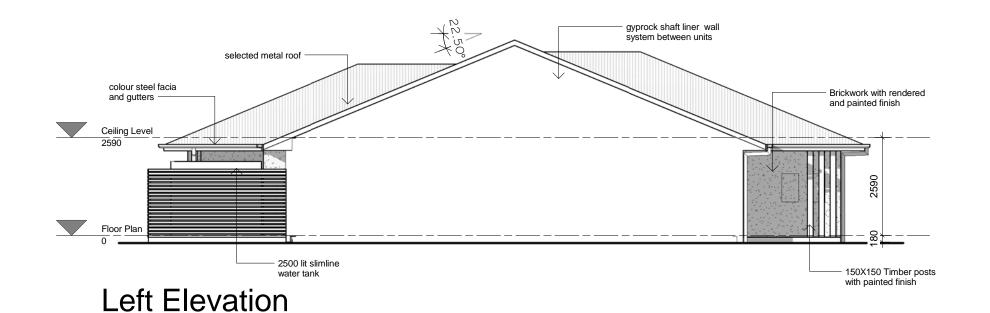
LOT / DP

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Front Elevation

1:100







1:100

Shortland Waters Stage 1 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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	CURRENT REVISION / ISSUED DATE	
TS PTY LTD FOR S.	REAL PROPERTY DESCRIPTION	

FACADE Metal Roof / Render SCALE 1:100 on A3 DATE DRAWN 01/02/2017 JOB #: 03 DRAWN CHKD TS SHEET# 03

V2015.A

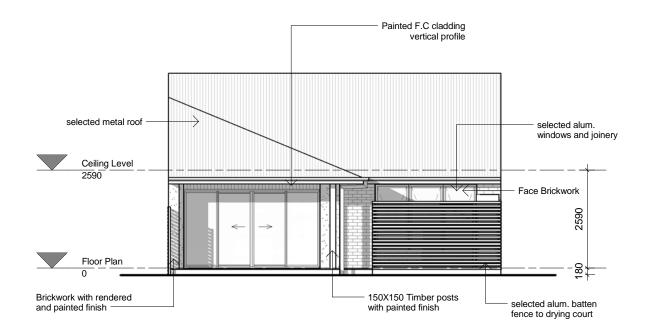
PLAN

20/12/16

LOT / DP

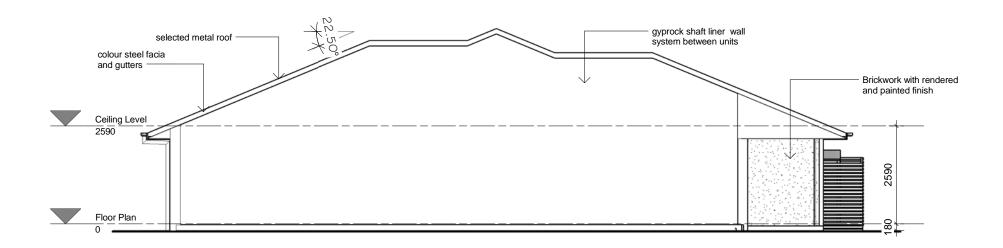
Dwelling Type 1CR-sr

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Right Elevation

1:100





Shortland Waters Stage 1 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

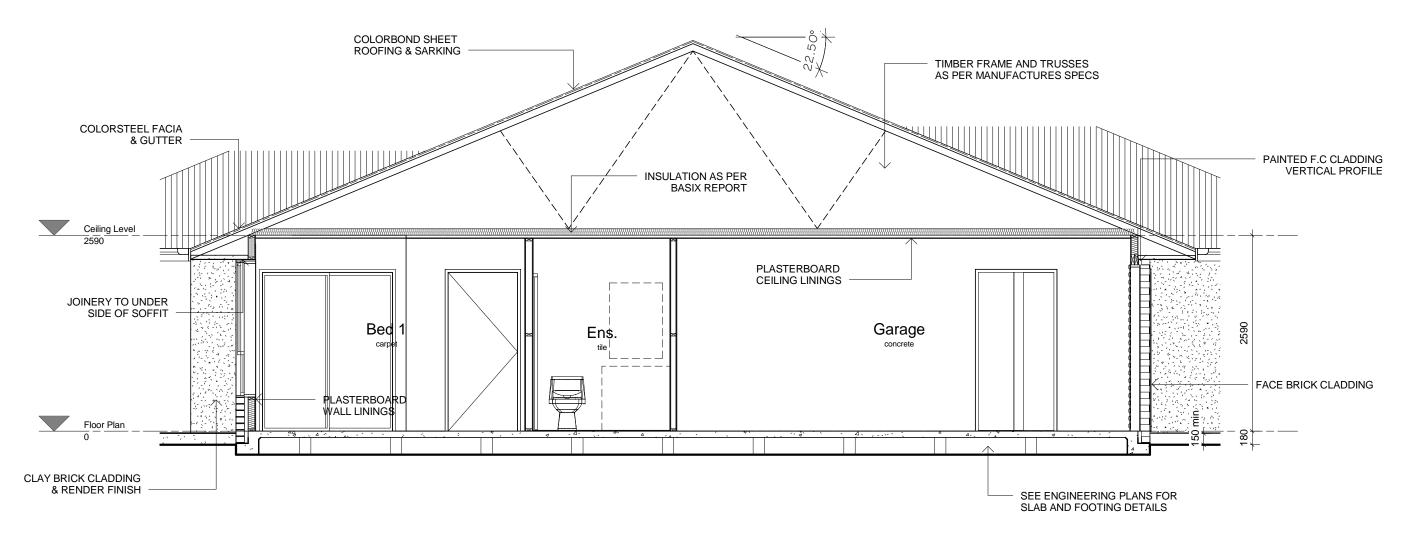
			FACADE	Metal Roc	f / Render	
CURRENT REVISION / A 20/12/16		SCALE 1 : 100 on A3		n A3		
SSUED DATE	^	20/12/10	DATE DRAWN	01/02/201	7	JOI
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST	CHKD	TS

PLAN

Dwelling Type 1CR-sr

SHEET# 04

V2015.A



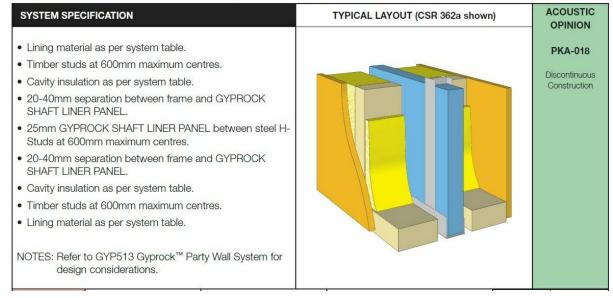
Section A-A

1:50

Party Wall (CSR 361(b) or Equal)

FRL	SYSTEM	10	STUD DEPTH mm	70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	R _w / F	R _w +C _{tr}
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60	• 2 x 10mm GYPRC	the second of th	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
EWFA 45743			(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier



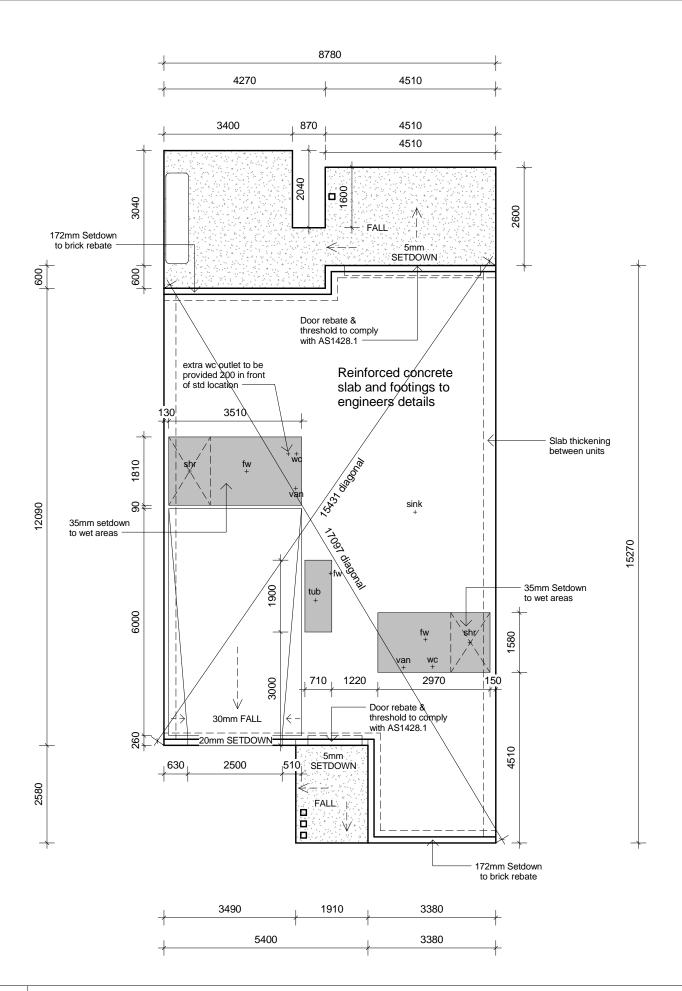




Shortland Waters Stage 1 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

CURRENT REVISION / ISSUED DATE	Α	20/12/16
REAL PROPERTY DESCRIPTION	LOT / D	Р

PLAN	Dwelling Type 1CR-sr V2015.A				
FACADE	Metal Roof / Render				
SCALE	1 : 50 on	A3			
DATE DRAWN	01/02/2017		JOB #:	03	
DRAWN	ST	CHKD	TS	SHEET#	05



- all dimensions to be confirmed on site
 all construction to be as per soil engineers details
 slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &

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Slab Plan

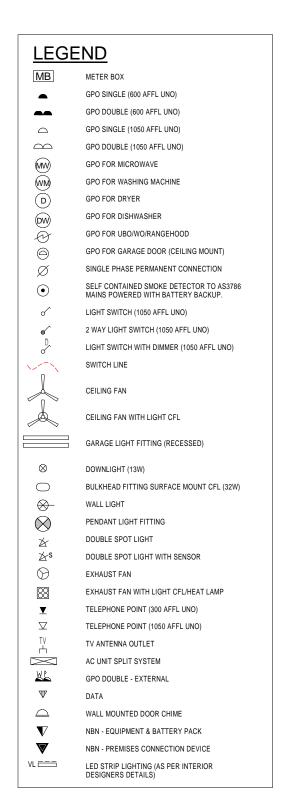
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Shortland Waters Stage 1 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

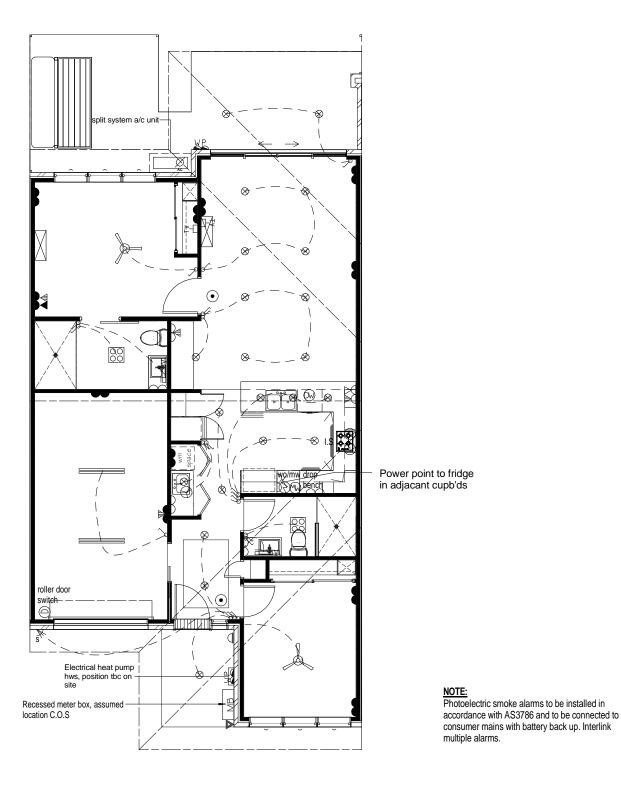
				V2013.A			
			FACADE	Metal Roo	f / Render		
CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 oı	n A3		
ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/201	7	JOB #:	03
REAL PROPERTY DESCRIPTION			DRAWN	ST	CHKD	TS	SHEET#

PLAN

Dwelling Type 1CR-sr



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR DESIGNERS DRAWINGS)

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM.
-SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L
-GPO'S AT LEAST 600mm HIGH A.F.L
-ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER.
-GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE REACHED WITH FRIDGE INSTALLED
-ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE REQUIREMENTS OF SEPP 5.

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

Electrical Plan

1:100





Shortland Waters Stage 1 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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Dwelling Type 1CR-sr PLAN V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN SHEET# 07 CHKD

GENERAL NOTES:

- All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish.
- 3. Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the Building Code of Australia and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturers specification means a current approved specification for use under the conditions annirable
- 6. UNO = Unless Noted Otherwise.
 - DPC = Damp Proof Course.
 - OMP = Outer Most Point.
- It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- 8. Provide a Thermostatic mixing valve to all the hot water outlets.

These plans are to be read in conjuction with any structural and civil engineering computions and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

Provide articulation joins to engineers details

All works shall comply with but not limited to the National Construction Code, the Building Code of Australia. referenced standards and the Australian Standards listed below.

- AS 1288 1994 GLASS IN BUILDINGS SELECTION AND INSTALLATION
- AS 1562 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 1999 NATIONAL TIMBER FRAMING CODE
- AS 2049 1992 ROOF TILES
- AS 2050 1995 INSTALLATION OF ROOF TILES
- AS 2870 1996 RESIDENTIAL SLAB AND FOOTINGS CONSTRUCTION
- AS NZS 2904 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 1994 CONCRETE STRUCTURES
- AS 3660 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 1998 MASONRY IN BUILDINGS
- AS 3786 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 4055 1992 WIND LOADING FOR HOUSES
- AS 4100 1996 STEEL STUCTURES

BASI

THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

<u>SEPP</u>

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) # 5 (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) - 2004

Revision Number		Revision Description	Revision Date
Α	Working Drawings		20/12/16

SITE WORKS

- Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- c. Sizes of timber members may vary upon ordering requirements but must remain within the guidelines
- of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel.

STEELWORK

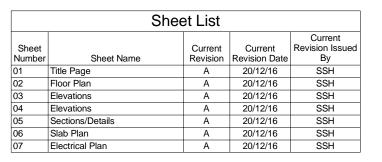
- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

WET AREA SURFACE

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent
 moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.



Legend:-

Air Conditioning	NCC NGI	National Construction Code Natural Ground Line
		Overhead Cupboard
		Plumbing Stack / Duct
Australian Standards	RL	Relative Level
Construction Joint	SF	Sliding / Fixed panel in a
Cavity Sliding Door		sliding glass door or window
Double Hung Window	SP	Steel Post
Downpipe	TBC	To be confirmed
Dishwasher	TR	Towel Rail/Nogging Position
Fixed Glass	UBO	Under Bench Oven
Floor Space Ratio	WO	Wall Oven
Floor Waste	MW	Microwave
Feature Wall Colour	WM	Washing Machine
Hot Water System	WIR	Walk In Robe
Load Bearing Wall		
	Above Floor Level Awning Window Australian Height Datum Australian Standards Construction Joint Cavity Sliding Door Double Hung Window Downpipe Dishwasher Fixed Glass Floor Space Ratio Floor Waste Feature Wall Colour Hot Water System	Above Floor Level Awning Window Australian Height Datum Australian Standards Construction Joint SF Cavity Sliding Door Double Hung Window Downpipe TBC Dishwasher Fixed Glass Floor Space Ratio Floor Waste Feature Wall Colour Hot Water System WIR



3D Front



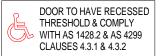


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

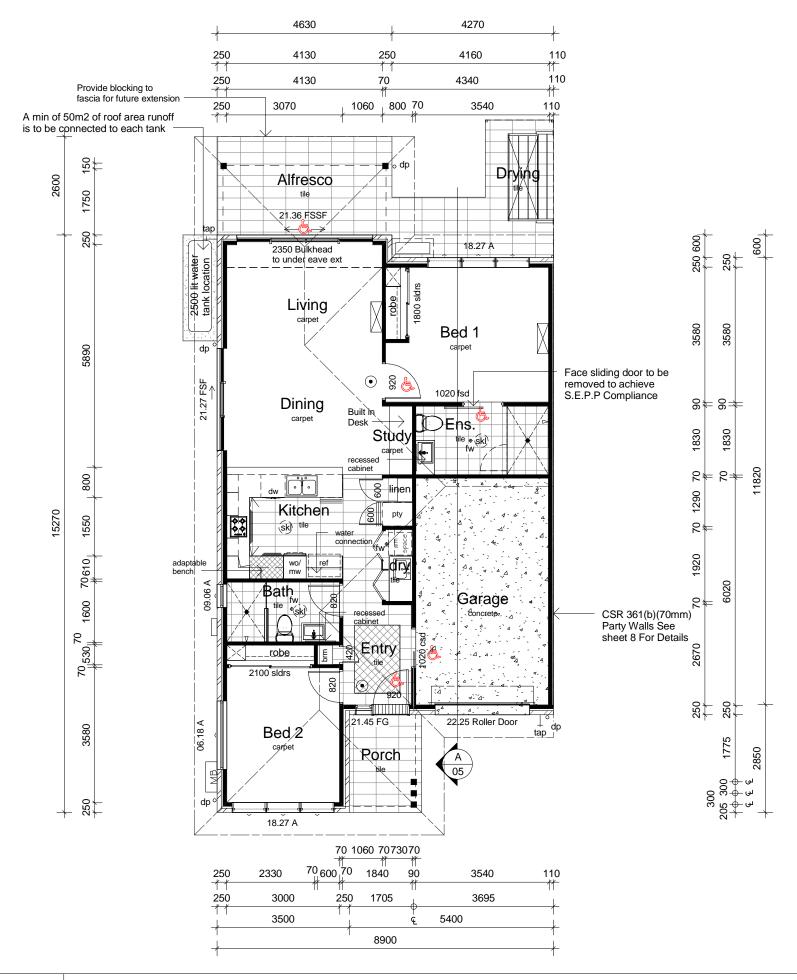
Aveo Retirement Living

				PLAN	Dwellir V2015.A	ng Type	1LH		
				FACADE	Metal Roc	f / Render			
	CURRENT REVISION / A 20/12/16		SCALE	1 : 100 on A3					
	ISSUED DATE	٨	20/12/10	DATE DRAWN	01/02/2017		JOB #:	03	
R	REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST	CHKD	TS	SHEET#	01

Area Schedule					
Name	Area	Squares			
Living	96.18 m ²	10.35			
Garage	23.23 m ²	2.50			
Alfresco	12.04 m ²	1.30			
Porch	4.93 m ²	0.53			
	136.37 m ²	14.67			



Floor Plan 1:100







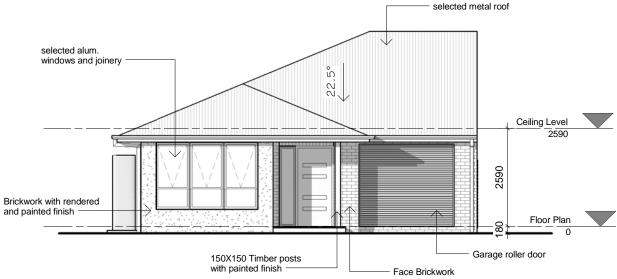
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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			PLAN	Dwellir V2015.A	ng Type	1LH		
			FACADE	Metal Roo	of / Render			
CURRENT REVISION / A 20/42/46		SCALE	As indicated on A3					
ISSUED DATE	Α	20/12/16	DATE DRAWN	N 01/02/2017 JOB #: 03		03		
REAL PROPERTY DESCRIPTION	LOT / D	P	DRAWN	ST CHKD TS SHEET#		02		

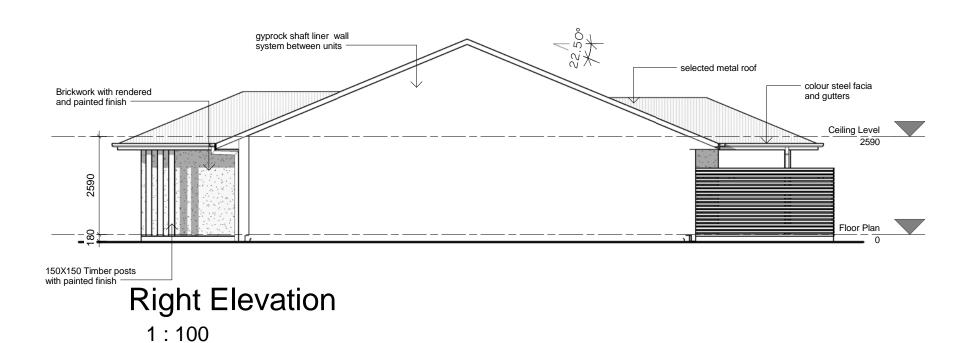
ratchet restriction).

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with



Front Elevation

1:100



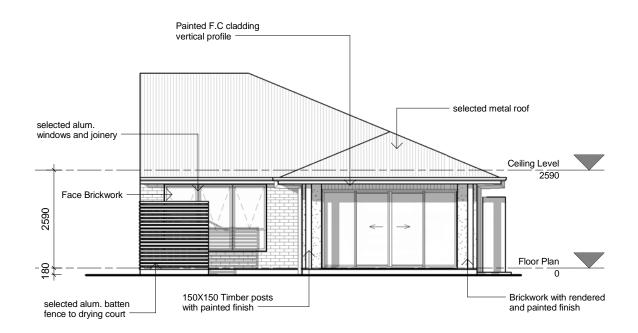




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

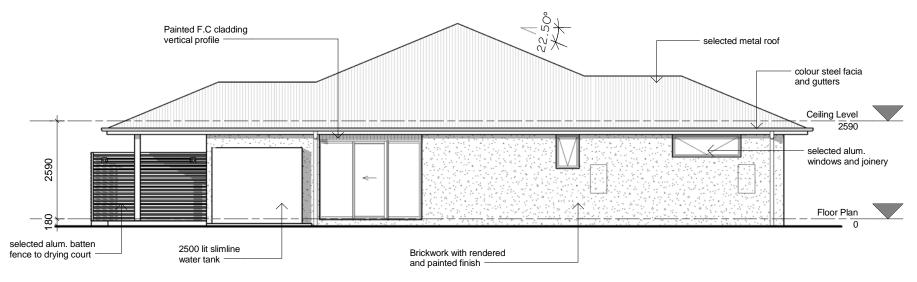
			PLAN	Dwellir V2015.A	ng Type	1LH		
			FACADE	Metal Roc	f / Render			
CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 or	n A3			
ISSUED DATE		20/12/10	DATE DRAWN	01/02/201	7	JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	P	DRAWN	ST	CHKD	TS	SHEET#	03

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Left Elevation

1:100





Shortland Waters Stage 2 - 2/90 Vale Street,
Brimingham Gardens, Shortland NSW 2307

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	CURRENT REVISION / ISSUED DATE	
IS PTY LTD FOR S.	REAL PROPERTY DESCRIPTION	

FACADE	Metal Roc	of / Rende
SCALE	1 : 100 oı	n A3
DATE DRAWN	01/02/201	7
DRAWN	ST	CHKD

Dwelling Type 1LH

JOB #: 03

TS

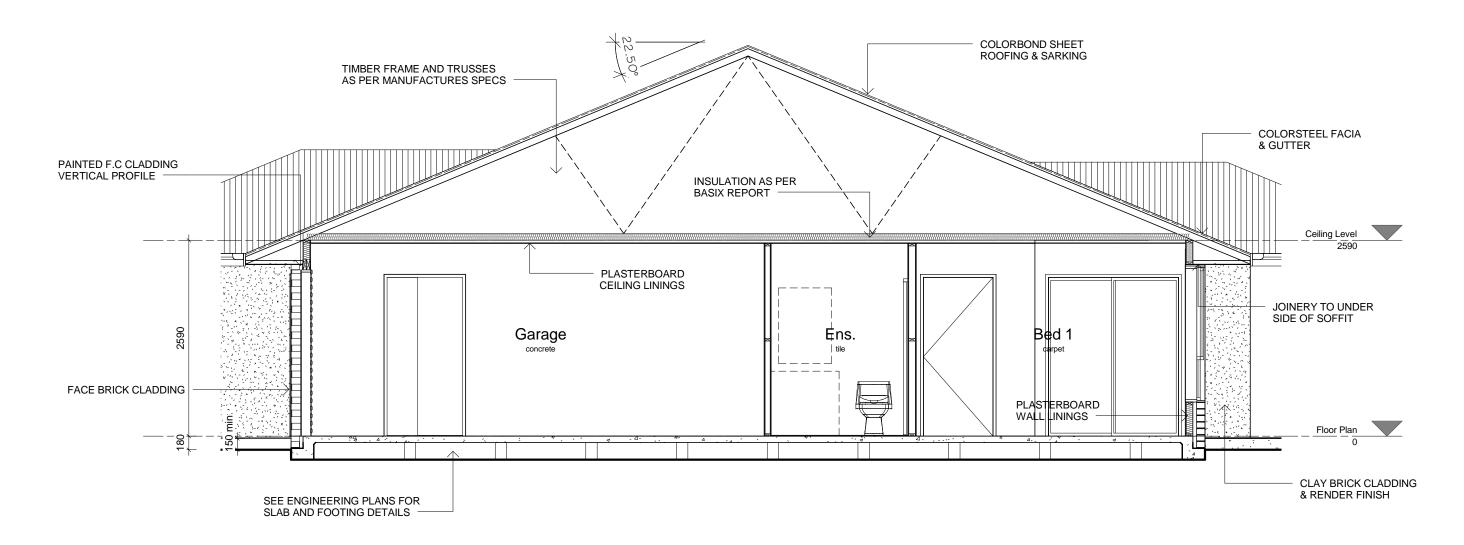
SHEET# 04

V2015.A

PLAN

20/12/16

LOT / DP



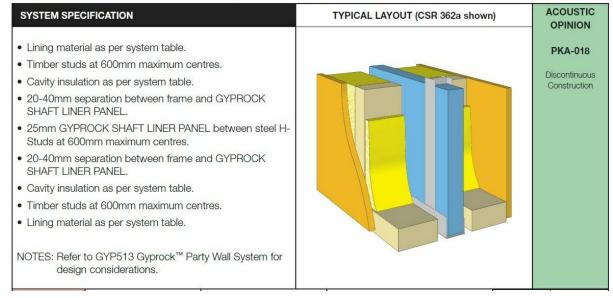
Section A-A

1:50

Party Wall (CSR 361(b) or Equal)

FRL Report/Opinion	SYSTEM N°	WALL LININGS	STUD DEPTH mm	70	90
			CAVITY INFILL Both sides (Refer to Section 'A')	Rw / Rw+Ctr	
	CSR 361	Вотн Sides • 2 x 10mm GYPROCK Plasterboard CD.	(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60			(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
EWFA 45743			(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier







Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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 CURRENT REVISION / ISSUED DATE
 A
 20/12/16

 REAL PROPERTY DESCRIPTION
 LOT / DP

 PLAN
 Dwelling Type 1LH

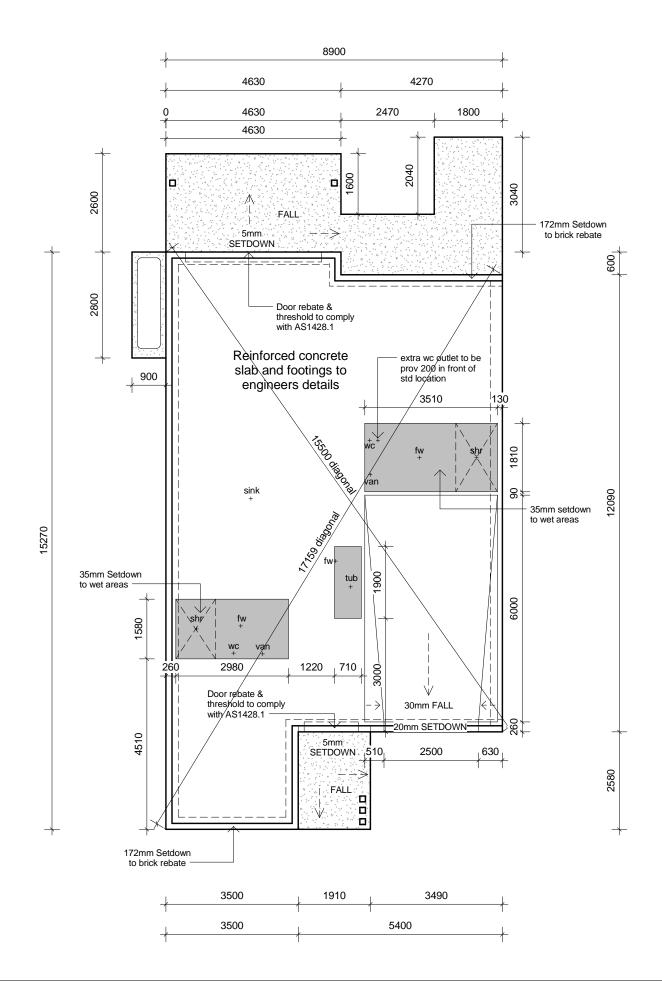
 V2015.A
 V2015.A

 FACADE
 Metal Roof / Render

 SCALE
 1:50 on A3

 DATE DRAWN
 01/02/2017
 JOB #: 03

 DRAWN
 ST
 CHKD
 TS
 SHEET # 05



Slab Plan

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 Aveo Retirement Living

CURRENT REVISION / ISSUED DATE 20/12/16 LOT / DP

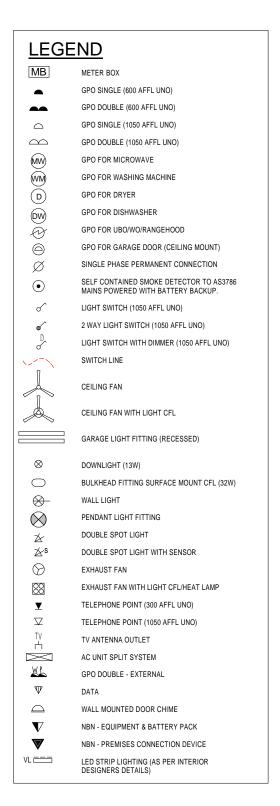
PLAN	Dwellir V2015.A	ng Type	1LH		
FACADE	Metal Roc	of / Render			
SCALE	1 : 100 or	n A3			
DATE DRAWN	01/02/201	7	JOB #:	03	
DRAWN	ST	CHKD	TS	SHEET#	06

Note:

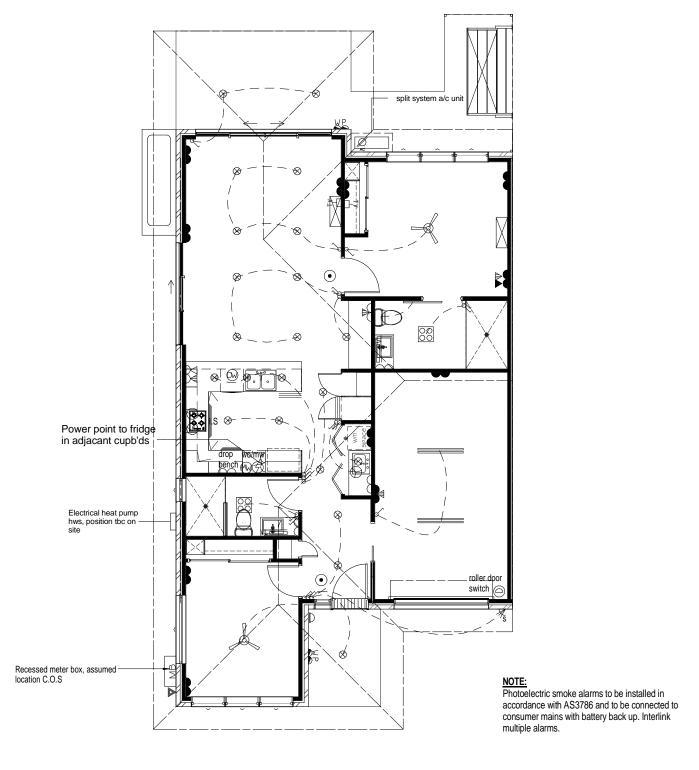
all dimensions to be confirmed on site
all construction to be as per soil engineers details
slab and footings as per soil engineers designs

- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &

- termite protection as per AS 3660.1 - 35mm slab recess for wet areas



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



Electrical Plan

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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Dwelling Type 1LH PLAN V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN SHEET# 07 CHKD TS

ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR DESIGNERS DRAWINGS)

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM.
-SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L
-GPO'S AT LEAST 600mm HIGH A.F.L
-ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER.
-GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE REACHED WITH FRIDGE INSTALLED
-ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE REQUIREMENTS OF SEPP 5.

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

GENERAL NOTES:

- All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish.
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- UNO = Unless Noted Otherwise.
 - DPC = Damp Proof Course.
 - OMP = Outer Most Point.
- 7. It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- Provide a Thermostatic mixing valve to all the hot water outlets.

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Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

Provide articulation joins to engineers details

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- AS 1562 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 1999 NATIONAL TIMBER FRAMING CODE
- AS 2049 1992 ROOF TILES
- AS 2050 1995 INSTALLATION OF ROOF TILES
- AS 2870 1996 RESIDENTIAL SLAB AND FOOTINGS CONSTRUCTION
- AS /NZS 2904 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 1994 CONCRETE STRUCTURES
- AS 3660 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 1998 MASONRY IN BUILDINGS
- AS 3786 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 4055 1992 WIND LOADING FOR HOUSES
- AS 4100 1996 STEEL STUCTURES

THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) # 5 (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) - 2004

Revision Number		Revision Description	Revision Date
Α	Working Drawings		20/12/16

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- b. All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- c. Sizes of timber members may vary upon ordering requirements but must remain within the guidelines
- of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

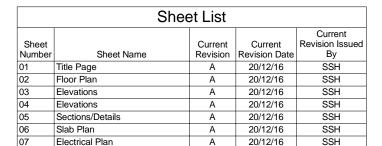
- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel.

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.



Legend:-

AC Air Condition AFL Above Floor A Awning Win AHD Australian H AS Australian S CJ Construction CSD Cavity Slidir D Double Hun DP Downpipe DW Dishwasher FG Fixed Glass FSR Floor Space FW Floor Waste FWC Feature Wa HWS Hot Water S LBW Load Bearin	Level dow eight Datum tandards n Joint g Door g Window Ratio	NCC NGL OHC PS RL SF SP TBC TR UBO WO MW WM WIR	National Construction Code Natural Ground Line Overhead Cupboard Plumbing Stack / Duct Relative Level Sliding / Fixed panel in a sliding glass door or windov Steel Post To be confirmed Towel Rail/Nogging Position Under Bench Oven Wall Oven Microwave Washing Machine Walk In Robe



3D Front



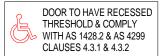


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

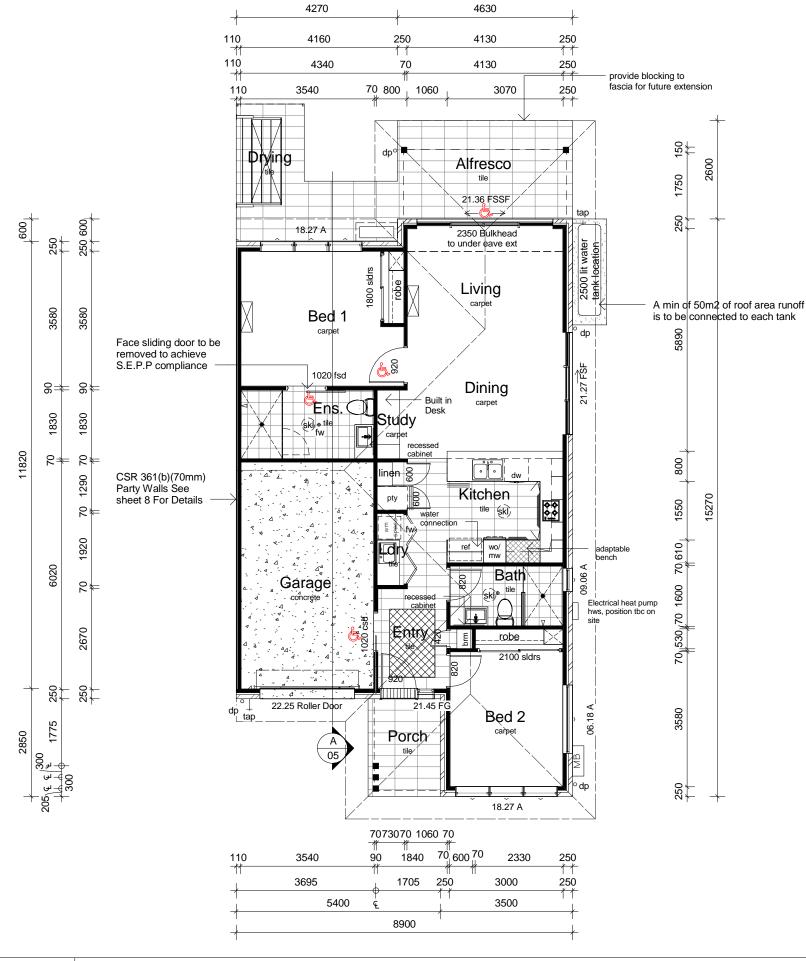
Aveo Retirement Living

			PLAN	Dwellir V2015.A	ng Type	1LHM		
			FACADE	Metal Roc	f / Render			
CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 on A3				
ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/2017		JOB #:	03	
REAL PROPERTY LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	01	

Area Schedule						
Name	Area	Squares				
Living	96.18 m ²	10.35				
Garage	23.23 m ²	2.50				
Alfresco	12.04 m ²	1.30				
Porch	4.93 m ²	0.53				
	136.37 m ²	14.67				











Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

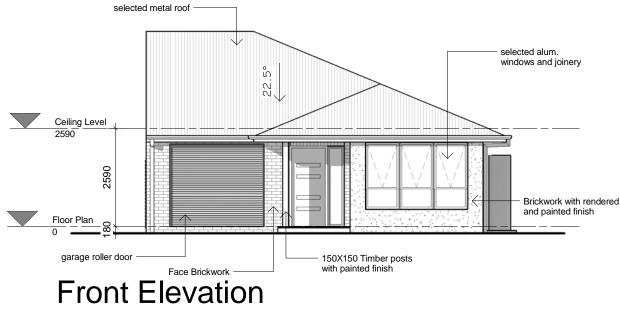
9
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CURRENT REVISION / ISSUED DATE

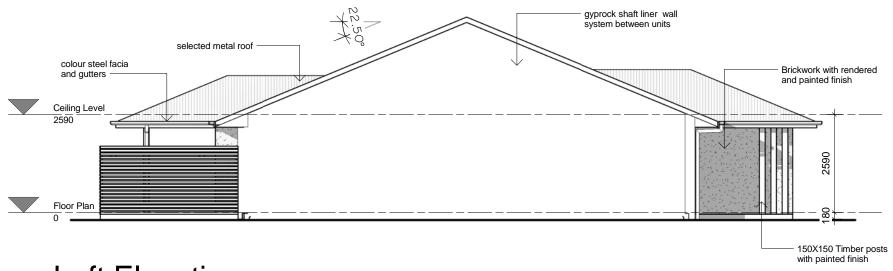
LOT / DP

	PLAN Dwelling Type 1LHM V2015.A						
	FACADE	Metal Roof / Render					
20/12/16	SCALE	As indicated on A3					
20/12/10	DATE DRAWN	01/02/2017		JOB #:	03		
P	DRAWN	ST	CHKD	TS	SHEET#	02	

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



1:100



Left Elevation

1:100

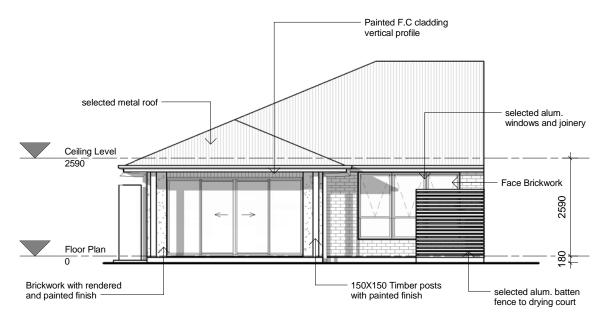




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

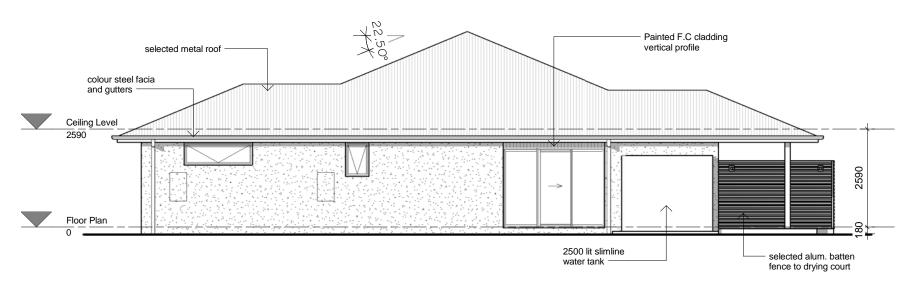
			PLAN	Dwelling Type 1LHM V2015.A					
				FACADE	Metal Roc	of / Render			
CURRENT REVISION / A 20/12/16		SCALE	1 : 100 on A3						
ISSUED DATE	ISSUED DATE		20/12/10	DATE DRAWN	01/02/2017 JOB #: 03		03		
REAL PROPERT DESCRIPTION	Υ	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	03

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Right Elevation

1:100

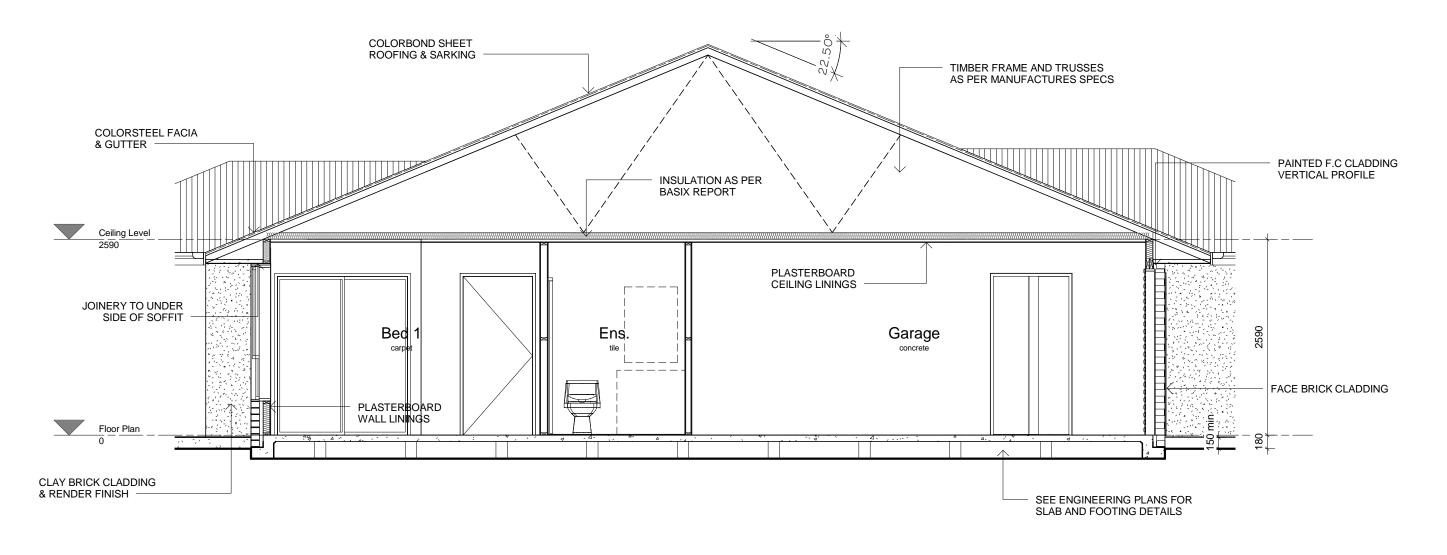




Shortland Waters Stage 2 - 2/90 Vale Street,
Brimingham Gardens, Shortland NSW 2307
Avea Datiramant Living

/	Aveo Retirement Living	
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				PLAN	Dwellir V2015.A	ng Type	1LHM		
				FACADE	Metal Roc	f / Render			
	CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 oı	n A3			
	ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/201	7	JOB #:	03	
REAL PROPERTY DESCRIPTION LO		LOT / D	P	DRAWN	ST	CHKD	TS	SHEET#	04



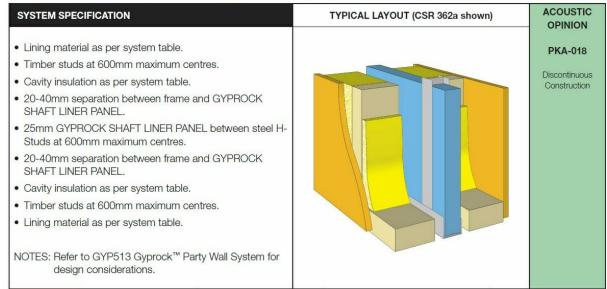
Section A-A

1:50

Party Wall (CSR 361(b) or Equal)

FRL	SYSTEM	STUD DEPTH mm		70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	Rw / Rw+Ctr	
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60 EWFA 45743		ВОТН SIDES • 2 x 10mm GYPROCK Plasterboard CD.	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
			(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier







Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

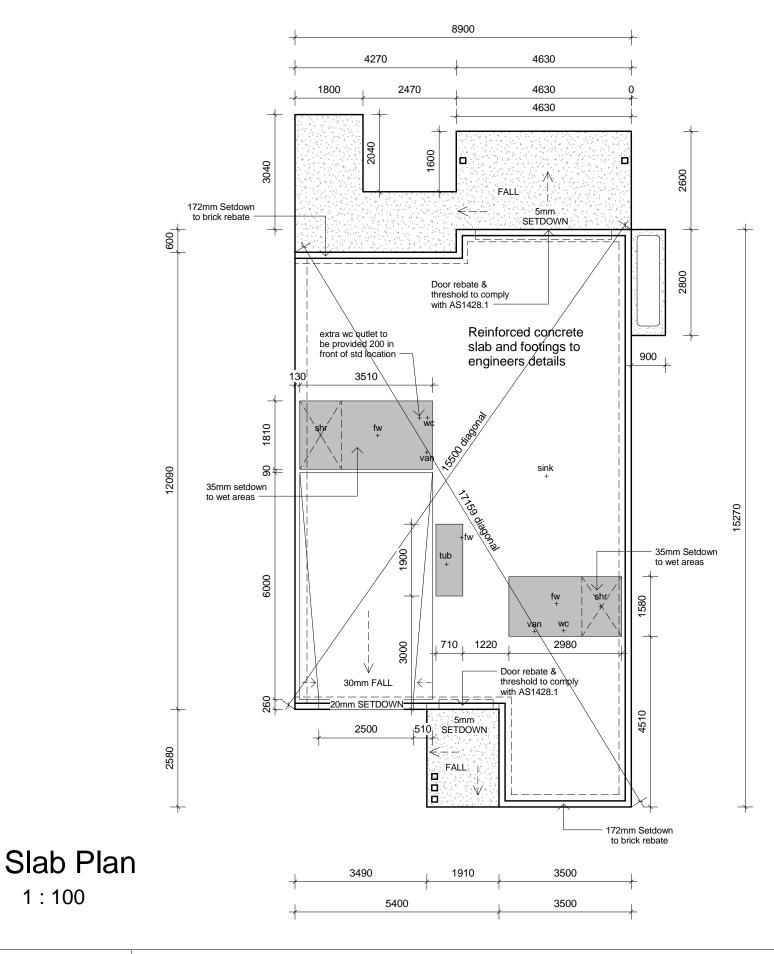
Aveo Retirement Living

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V2015.A **FACADE** Metal Roof / Render SCALE 1:50 on A3 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN CHKD TS SHEET# 05

PLAN

Dwelling Type 1LHM







1:100

Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

	ISSUED DATE
ECTS PTY LTD FOR ZES.	REAL PROPEI DESCRIPTION

CURRENT REVISION /

			17107102	Wiotai 1 tooi / I			
Δ 20/12/		20/12/16	SCALE	1 : 100 oı	n A3		
^	20/12/10	DATE DRAWN	01/02/2017				
	LOT / DP		DRAWN	ST			

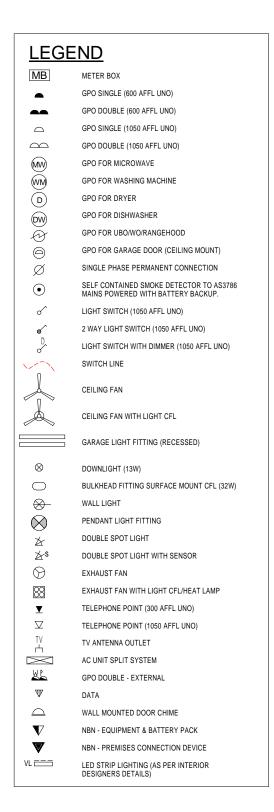
Note:

- all dimensions to be confirmed on site
- all construction to be as per soil engineers details
- slab and footings as per soil engineers designs

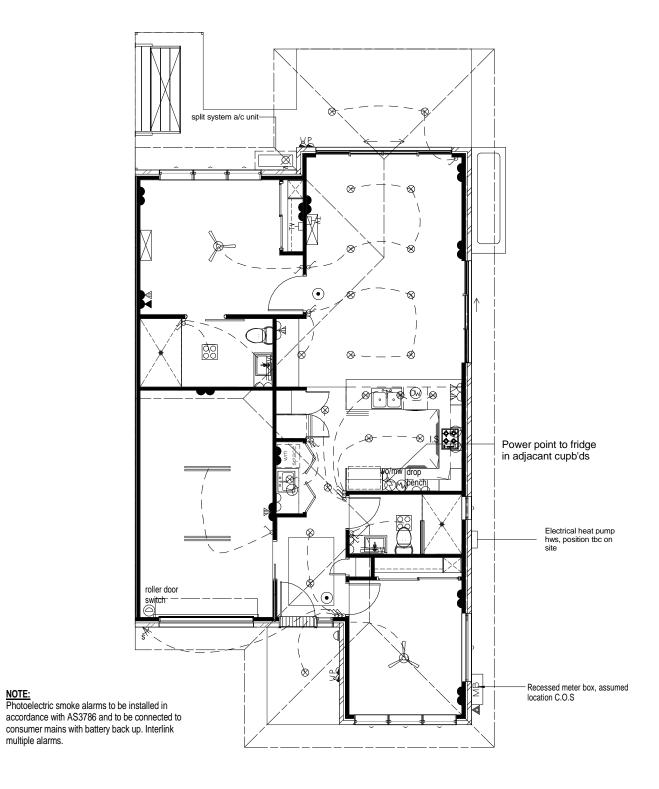
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &

- termite protection as per AS 3660.1 - 35mm slab recess for wet areas

PLAN	Dwelling Type 1LHM V2015.A					
FACADE	Metal Roof / Render					
SCALE	1 : 100 on A3					
DATE DRAWN	01/02/2017		JOB #:	03		
DRAWN	ST	CHKD	TS	SHEET#	06	



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR DESIGNERS DRAWINGS

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS &

MASTER BEDROOM.
-SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L -GPO'S AT LEAST 600mm HIGH A.F.L

-ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER.

-GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE REACHED WITH FRIDGE INSTALLED
-ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE REQUIREMENTS OF SEPP 5.

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

Electrical Plan

multiple alarms

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

		PLAN	V2015.A						
				FACADE	Metal Roc	f / Render			
	CURRENT REVISION /	Α	20/12/16	SCALE	As indicated on A3				
	ISSUED DATE	SUED DATE A 20/12/1		DATE DRAWN	01/02/201	7	JOB #:	03	
	REAL PROPERTY DESCRIPTION	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	07

GENERAL NOTES:

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Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/16

Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/10

SITE WORKS

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- AS PER ENGINEERS DETAILS

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- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external
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- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
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STEELWORK

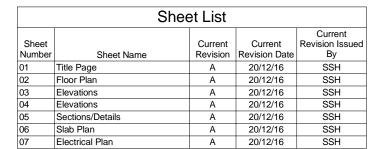
- AS PER ENGINEERS DETAILS

FRAMING TIMBER

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- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.



Legend:-

AC	Air Conditioning	NCC	National Construction Code
AFL	Above Floor Level	NGL	Natural Ground Line
Α	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or window
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Position
FG	Fixed Glass	UBO	Under Bench Öven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe
LBW	Load Bearing Wall		



3D Front



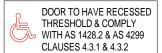


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

		PLAN	Dwelling Type 2RH V2015.A						
			FACADE	Metal Roo	Metal Roof / Render				
	CURRENT REVISION /	A	20/12/16	SCALE	1 : 100 oı	1 : 100 on A3			
	ISSUED DATE	A 20/12/10		DATE DRAWN	20/12/2016		JOB #:	03	
OR	REAL PROPERTY DESCRIPTION			DRAWN	SSH	CHKD	TS	SHEET#	01

Area Schedule						
Name	Area	Squares				
Living	111.06 m ²	11.95				
Garage	23.23 m ²	2.50				
Alfresco	13.75 m²	1.48				
Porch	4.93 m ²	0.53				
	152 97 m ²	16 46				









1:100

Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

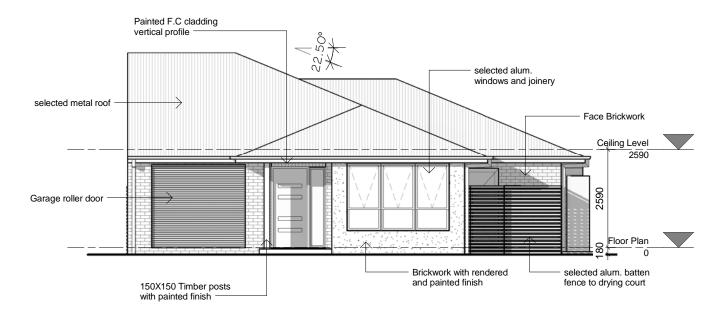
Aveo Retirement Living

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		PLAN	Dwelling Type 2RH V2015.A						
		FACADE	Metal Roo	Metal Roof / Render					
RRENT REVISION /	Α	20/12/16	SCALE	As indicated on A3					
SUED DATE	A	20/12/10	DATE DRAWN	20/12/201	6	JOB #:	03		
AL PROPERTY SCRIPTION	LOT / DI	P	DRAWN	SSH	CHKD	TS	SHEET#	02	

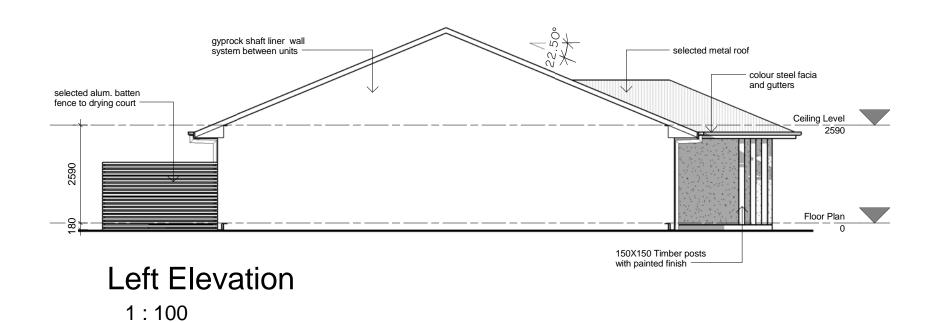
- Refer to colour specifications schedule for detailed internal and external colours/materials.
- internal and external colours/materials

 Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Front Elevation

1:100





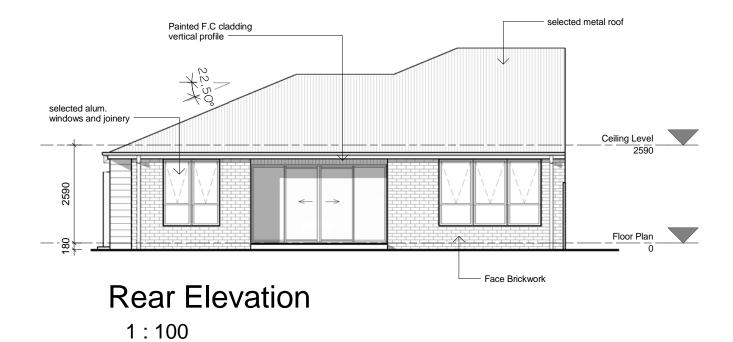


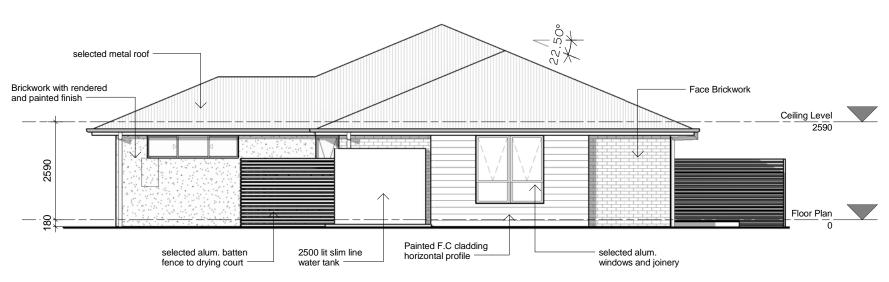
Shortland Waters Stage 2 - 2/90 Vale Street,	PLAN	Dwelling Type 2RH V2015.A					
Brimingham Gardens, Shortland NSW 2307	FACADE	Metal Roof / Render					
Aveo Retirement Living	CURRENT REVISION /	TREVISION / A	20/12/16	SCALE	1 : 100 o	n A3	
71100 110th Elving	ISSUED DATE REAL PROPERTY	,,	20/12/10	DATE DRAWN	20/12/201	6	JOB #:
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03

SHEET# 03

- Refer to colour specifications schedule for detailed internal and external colours/materials
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 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).





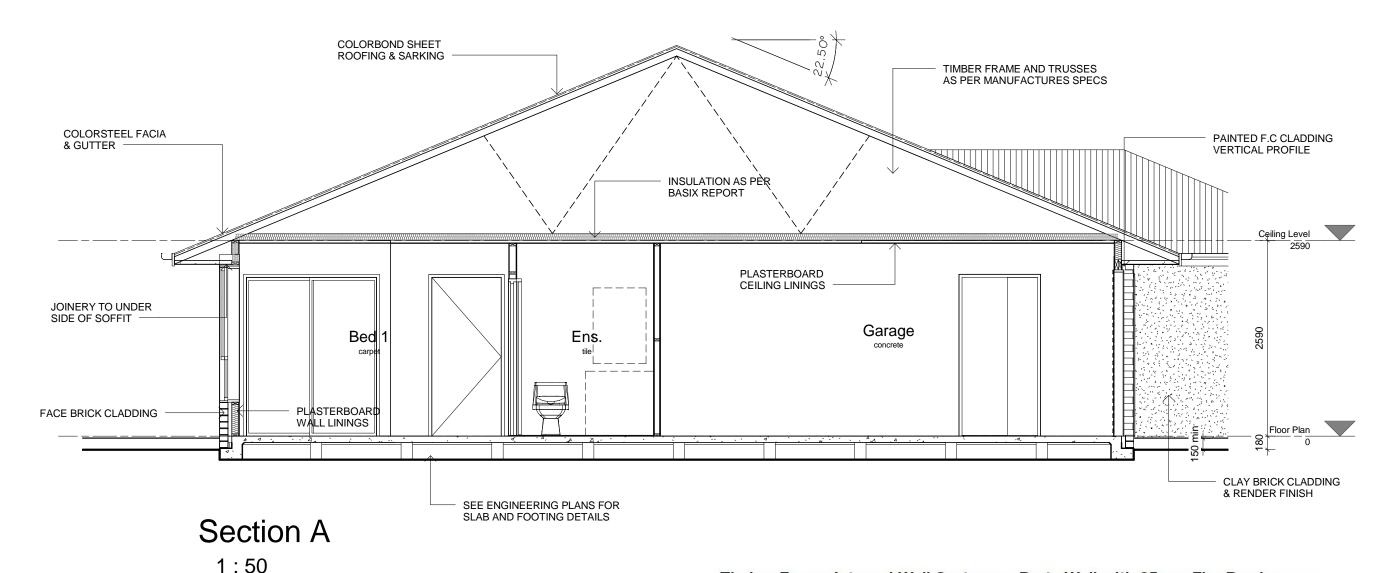
Right Elevation

1:100





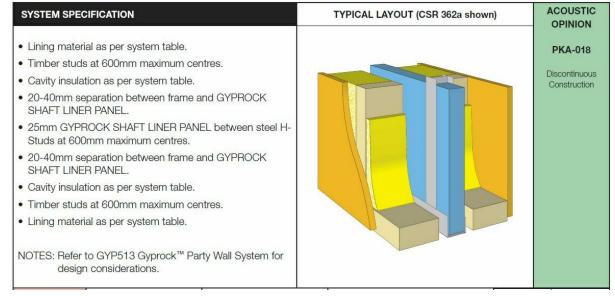
Shortland Waters Stage 2 - 2/90 Vale Street,					Dwelling Type 2RH V2015.A				
Brimingham Gardens, Shortland NSW 2307				FACADE	Metal Roof / Render				
Aveo Retirement Living		CURRENT REVISION / A 20/12		SCALE	1 : 100 o	n A3			
7 V CO T C III C III C II I I I I I I I I I I	ISSUED DATE		20/12/10	DATE DRAWN	20/12/201	6	JOB #:	03	
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Party Wall (CSR 361(b) or Equal)

FRL	SYSTEM	STUD DEPTH mm		STUD DEPTH mm 70		70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	R _w / F	Rw / Rw+Ctr		
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50		
60/60/60 Both Sides	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51				
EWFA 45743	2 x 10mm GYPROCK Plasterboard CD.	(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51			
			WALL THICKNESS mm	245	285		

Timber Frame Internal Wall Systems – Party Wall with 25mm Fire Barrier







Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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	CURRENT REVISION / ISSUED DATE	
TS PTY LTD FOR S.	REAL PROPERTY DESCRIPTION	

A 20/12/16

 PLAN
 Dwelling Type 2RH

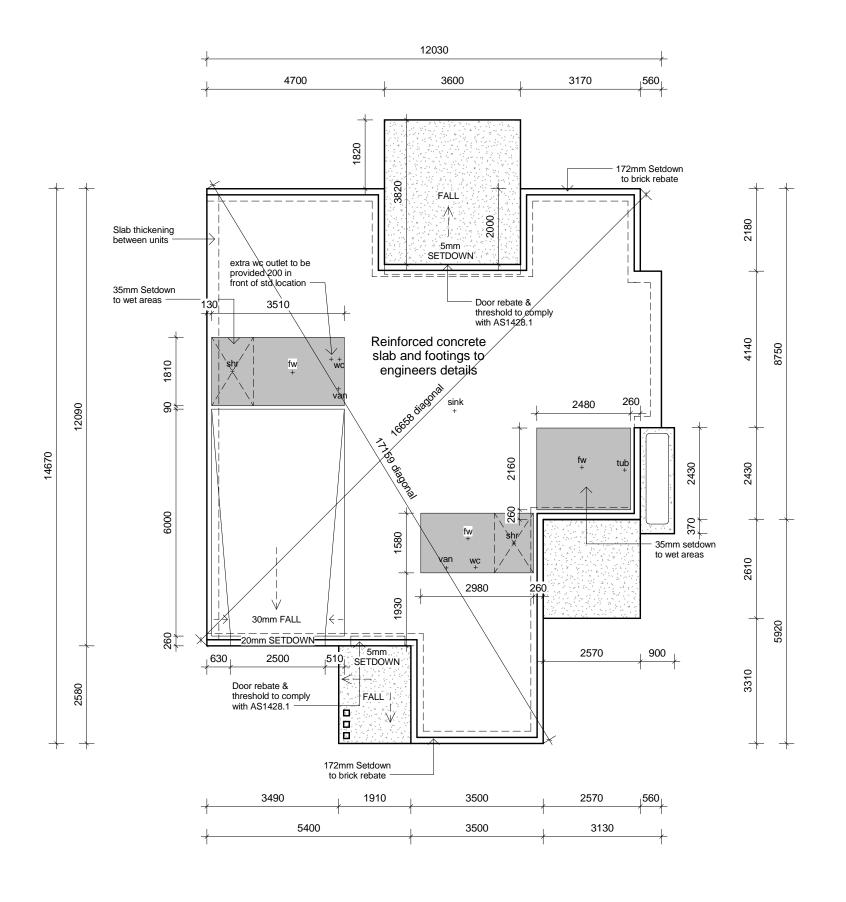
 V2015.A
 V2015.A

 FACADE
 Metal Roof / Render

 SCALE
 1:50 on A3

 DATE DRAWN
 20/12/2016
 JOB #: 03

 DRAWN
 SSH
 CHKD
 TS
 SHEET # 05



- all dimensions to be confirmed on site
 all construction to be as per soil engineers details
 slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &





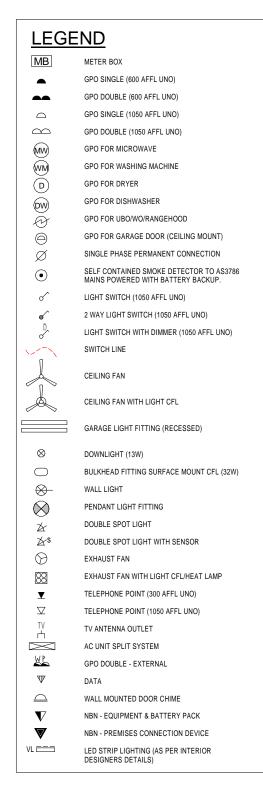
Slab Plan

1:100

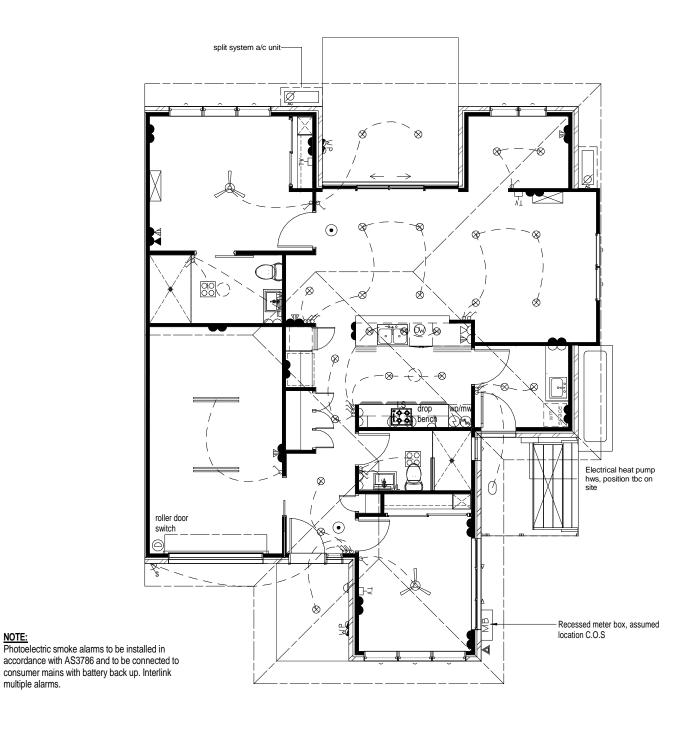
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 Aveo

Retirement Living
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				PLAN	Dwellir V2015.A	ng Type	2RH		
				FACADE	Metal Roc	of / Render			
[CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 on A3				
	ISSUED DATE	^	20/12/10	DATE DRAWN	20/12/2016 JOB #: 03		03		
	REAL PROPERTY DESCRIPTION	LOT / DF	ס	DRAWN	SSH CHKD TS SHEET #		SHEET#	06	



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



Electrical Plan

1:100

NOTE:

multiple alarms.





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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Dwelling Type 2RH PLAN V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / 20/12/16 DATE DRAWN 20/12/2016 JOB #: LOT / DP DRAWN SHEET# 07 SSH CHKD TS

ELECTRICAL NOTES:

DESIGNERS DRAWINGS)

MASTER BEDROOM.

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS &

-SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L

-ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER.
-GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE

-ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

Note: Electrical plan to be read in conjunction with

"Aveo Newcastle - scoping document" prepared

NOTE: EXHAUST FAN TO BE SWITCHED ON

WITH LIGHT TO BATHHROM AND WC

-GPO'S AT LEAST 600mm HIGH A.F.L

REACHED WITH FRIDGE INSTALLED

REQUIREMENTS OF SEPP 5.

by frontier networks.

ALL ELECTRICAL WORK TO COMPLY WITH THE

GENERAL NOTES:

- All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish.
- 3. Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the Building Code of Australia and all relevant current Australian Standards. Any
 outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturers specification means a current approved specification for use under the conditions applicable
- 6. UNO = Unless Noted Otherwise.
 - DPC = Damp Proof Course.
 - OMP = Outer Most Point.
- It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- 8. Provide a Thermostatic mixing valve to all the hot water outlets.

These plans are to be read in conjuction with any structural and civil engineering computions and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

Provide articulation joins to engineers details

All works shall comply with but not limited to the National Construction Code, the Building Code of Australia, referenced standards and the Australian Standards listed below.

AS 1288 - 1994 GLASS IN BUILDINGS SELECTION AND INSTALLATION

AS 1562 - 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING

AS 1684 - 1999 NATIONAL TIMBER FRAMING CODE

AS 2049 - 1992 ROOF TILES

AS 2050 - 1995 INSTALLATION OF ROOF TILES

AS 2870 - 1996 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION

AS /NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS

AS 3600 - 1994 CONCRETE STRUCTURES

AS 3660 - 2004 BARRIERS FOR SUBTERRANEAN TERMITES

AS 3700 - 1998 MASONRY IN BUILDINGS

AS 3786 - 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 4055 - 1992 WIND LOADING FOR HOUSES

AS 4100 - 1996 STEEL STUCTURES

BASI

THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

SEPP

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) # 5 (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) - 2004

Revision Number	Revision Description	Revision Date
radifibol	revision Description	INCVISION Date
Α	Working Drawings	20/12/16
В	Enlarge Study Window	01/02/17
		•

	;	Shee	et Lis
Sheet Number	Sheet Name		Curre Revisi
01	Title Page		В
02	Floor Plan		В
03	Elevations		Α
04	Elevations		В
05	Sections/Details		Α

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- b. All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- c. Sizes of timber members may vary upon ordering requirements but must remain within the guidelines of the said reference material.
- TERLAL O AND CONCERNACIO

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external $\,$
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

WET AREA SURFACES

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

Legend :-

Slab Plan

Flectrical Plan

AC	Air Conditioning	NCC	National Construction Code
AFL	Above Floor Level	NGL	Natural Ground Line
Α	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or window
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Positio
FG	Fixed Glass	UBO	Under Bench Oven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe
LBW	Load Bearing Wall		

Current

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vision Issued

Current

Revision Date

01/02/17 01/02/17

20/12/16

01/02/17

20/12/16

20/12/16

20/12/16



3D Front



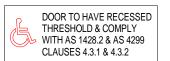


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

				PLAN	Dwellir V2015.A	ng Type	3LH		
				FACADE	Metal Roo	of / Render			
	CURRENT REVISION /	В	01/02/17	SCALE	1 : 100 on A3				
	ISSUED DATE	ט	01/02/17	DATE DRAWN	01/02/2017 JOB#: 03		03		
FOR	REAL PROPERTY DESCRIPTION	LOT / DI	D	DRAWN	ST CHKD TS SHEET		SHEET#	01	

Are	ea Schedule	9
Name	Area	Squares
Living	109.20 m ²	11.75
Garage	23.23 m ²	2.50
Alfresco	13.28 m²	1.43
Porch	4.21 m ²	0.45
	149.91 m ²	16.13









Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

	CURRENT REVISION / ISSUED DATE	
PROJECTS PTY LTD FOR ED SIZES.	REAL PROPERTY DESCRIPTION	

Dwelling Type 3LH

PLAN

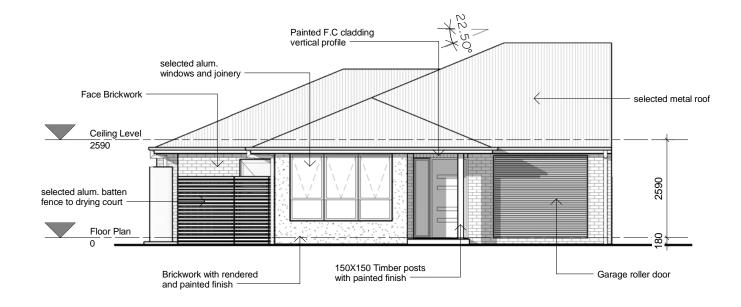
01/02/17

LOT / DP

- Refer to colour specifications schedule for detailed
- internal and external colours/materials

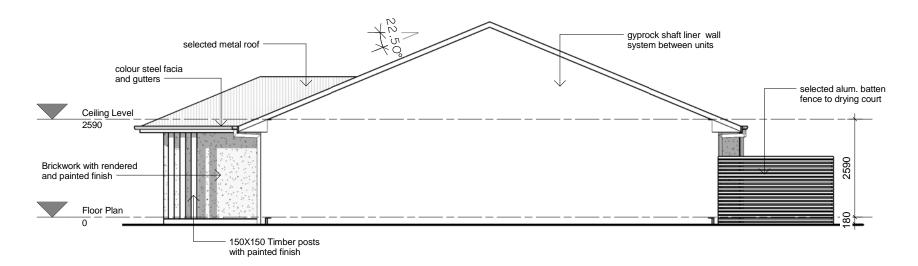
 Articulation joints as per engineering details

 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Front Elevation

1:100



Right Elevation

1:100





Shortland Waters Stage 2 - 2/90 Vale Street,
Brimingham Gardens, Shortland NSW 2307
Avec Definement Living

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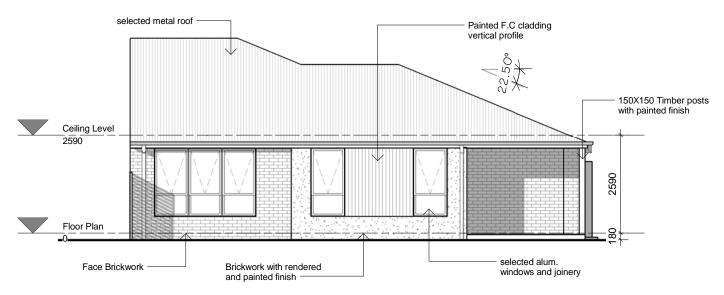
			FACADE	Metal Roc	r / Renaer			
CURRENT REVISION / A 20/12/16		20/12/16	SCALE	1 : 100 or	n A3			
ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/2017 JOB#			03	
REAL PROPERTY DESCRIPTION	AL PROPERTY LOT / DD		DRAWN	ST	CHKD	TS	SHEET#	03

PLAN

Dwelling Type 3LH

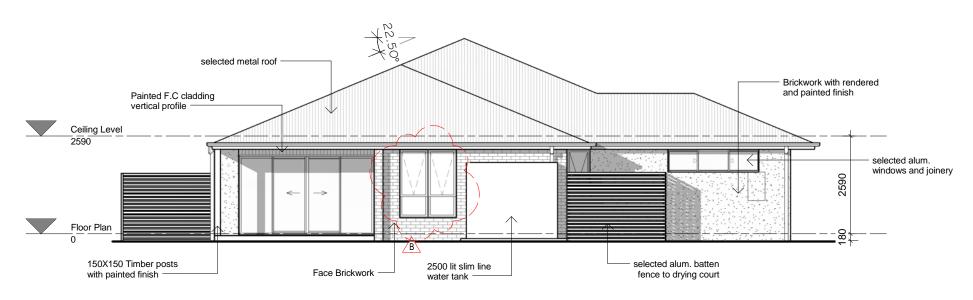
V2015.A

- Refer to colour specifications schedule for detailed internal and external colours/materials
- · Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Left Elevation

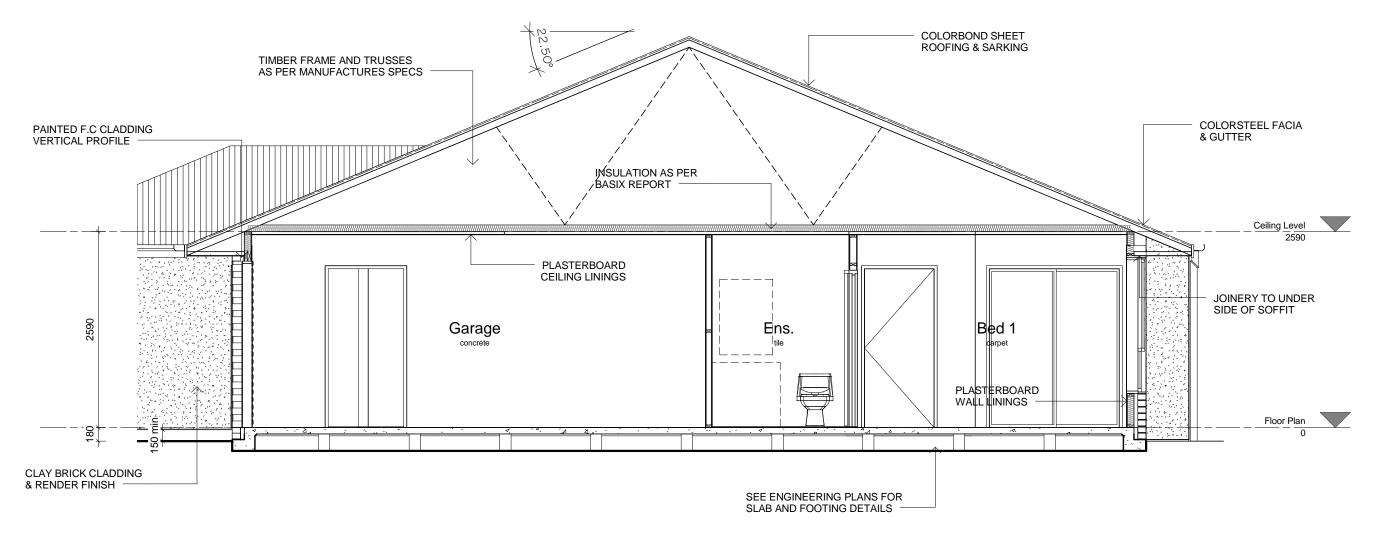
1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

				PLAN	Dwellir V2015.A	ng Type	3LH		
			FACADE	Metal Roof / Render					
	CURRENT REVISION /	ISION / B 01/02/17		SCALE	1 : 100 on A3				
	ISSUED DATE		01/02/11	DATE DRAWN	01/02/201	7	JOB #:	03	
	REAL PROPERTY DESCRIPTION	RTY LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	04



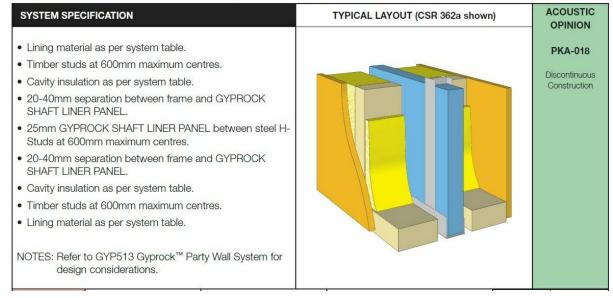
Section A

1:50

Party Wall (CSR 361(b) or Equal)

EDI	FRL SYSTEM		STUD DEPTH mm	70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	R _w / F	R _w +C _{tr}
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60	2 x 10mm GYPROCK	The second secon	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
EWFA 45743			(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier







Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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	ISSUED DATE
LTD FOR	REAL PROPERTY DESCRIPTION

CURRENT REVISION /

FACADE Metal Roof / Render

SCALE 1:50 on A3

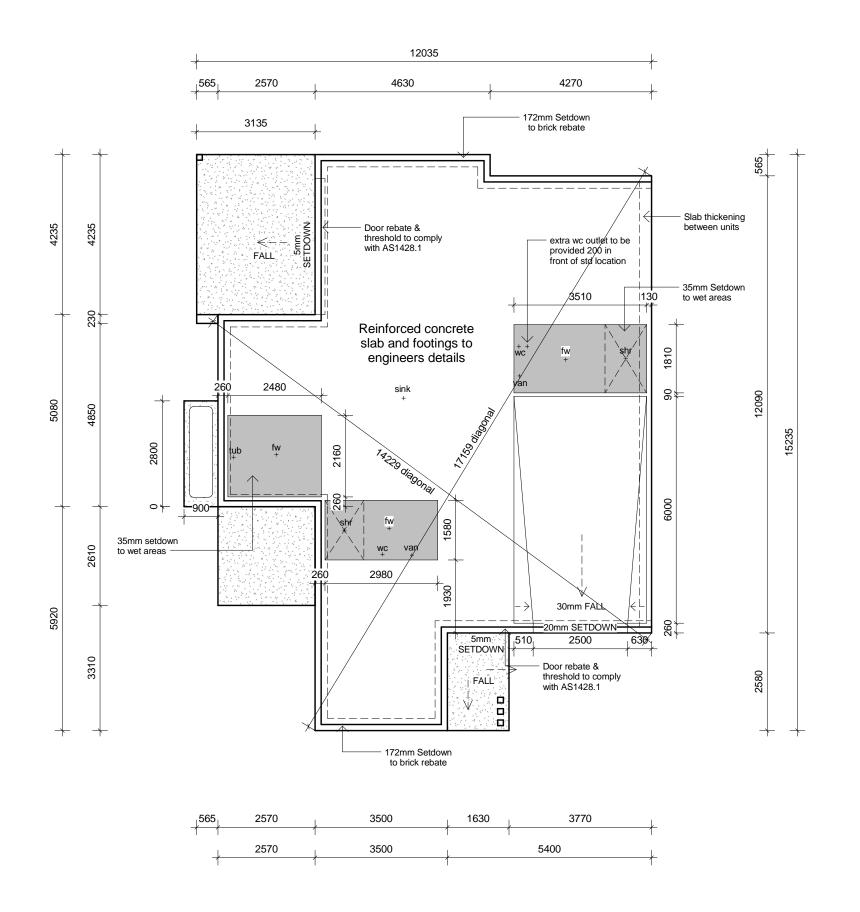
DATE DRAWN 01/02/2017 JOB #: 03

LOT / DP DRAWN ST CHKD TS SHEET # 05

V2015.A

PLAN

Dwelling Type 3LH



- all dimensions to be confirmed on site all construction to be as per soil engineers details - slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &





Slab Plan

1:100

Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

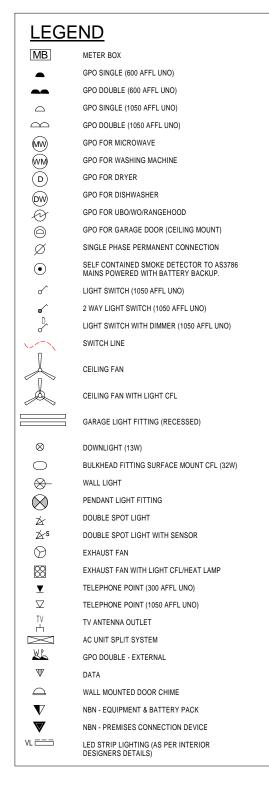
	CURRENT REVISION / ISSUED DATE	
PTY LTD FOR	REAL PROPERTY DESCRIPTION	

FACADE Metal Roof / Render SCALE 1:100 on A3 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN CHKD TS SHEET# 06

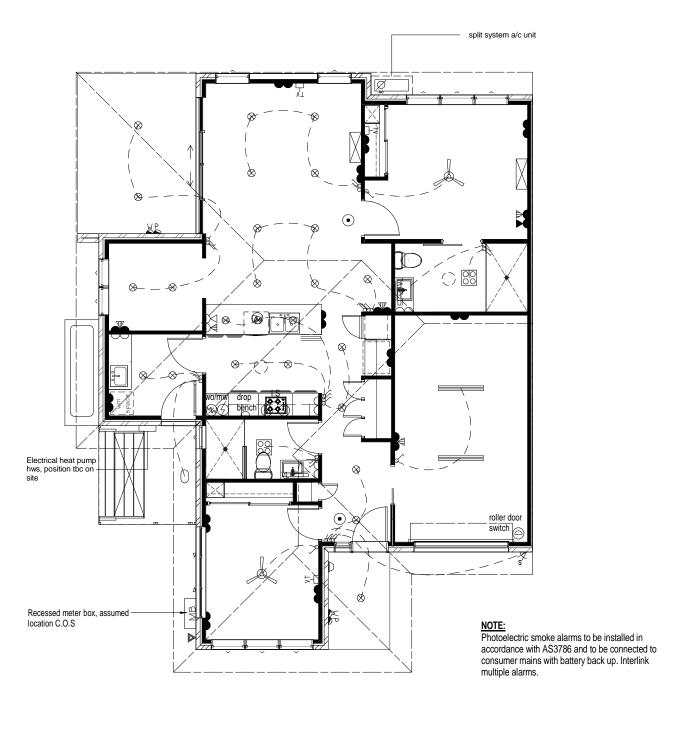
PLAN

Dwelling Type 3LH

V2015.A



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



Electrical Plan

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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			PLAN	Dwellir V2015.A	ng Type	3LH			
			FACADE	Metal Roof / Render					
CURR	CURRENT REVISION /	A 20/12/16	SCALE	As indicated on A3					
	ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/201	7	JOB #:	03	
	REAL PROPERTY DESCRIPTION	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	07

ELECTRICAL NOTES:

DESIGNERS DRAWINGS)

OF THE BENCH.

MASTER BEDROOM.

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE

LOCATED A MAXIMUM OF 300mm FROM THE FRONT

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS &

-GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE

Note: Electrical plan to be read in conjunction with

"Aveo Newcastle - scoping document" prepared

-ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

-SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L

-ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER.

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

-GPO'S AT LEAST 600mm HIGH A.F.L

REACHED WITH FRIDGE INSTALLED

REQUIREMENTS OF SEPP 5.

by frontier networks.

ALL ELECTRICAL WORK TO COMPLY WITH THE

GENERAL NOTES:

- 1. All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish.
- 3. Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the Building Code of Australia and all relevant current Australian Standards. Any
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- 6. UNO = Unless Noted Otherwise.
 - DPC = Damp Proof Course.
 - OMP = Outer Most Point.
- It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- 8. Provide a Thermostatic mixing valve to all the hot water outlets.

These plans are to be read in conjuction with any structural and civil engineering computions and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

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AS /NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS

AS 3600 - 1994 CONCRETE STRUCTURES

AS 3660 - 2004 BARRIERS FOR SUBTERRANEAN TERMITES

AS 3700 - 1998 MASONRY IN BUILDINGS

AS 3786 - 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 4055 - 1992 WIND LOADING FOR HOUSES

AS 4100 - 1996 STEEL STUCTURES

BASI

THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

SEP

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) # 5 (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) - 2004

Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/16
В	Enlarge Window to Study	01/02/17

Sheet List Current Current Current Sheet vision Issued Sheet Name Revision Revision Date Number В ST Title Page 01/02/17 02 Floor Plan В 01/02/17 ST 03 Elevations 20/12/16 SSH 04 ST Elevations В 01/02/17 Sections/Details 20/12/16 SSH 06 Slab Plan 20/12/16 SSH Electrical Plan SSH 20/12/16

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- b. All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- c. Sizes of timber members may vary upon ordering requirements but must remain within the guidelines
- of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external $\,$
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

WET AREA SURFACES

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

Legend :-

Load Bearing Wall

AC AFL	Air Conditioning Above Floor Level	NCC NGL	National Construction Code Natural Ground Line
Α	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or window
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Position
FG	Fixed Glass	UBO	Under Bench Oven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe



3D Front



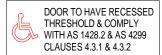


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

				PLAN	Dwellir V2015.A	ng Type	3RH		
				FACADE	Metal Roo	of / Render			
	CURRENT REVISION /	В	01/02/17	SCALE	1 : 100 on A3 01/02/2017 JOB #: 03				
	ISSUED DATE	Ь	01/02/11	DATE DRAWN			JOB #:	03	
R	REAL PROPERTY LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	01	

Area Schedule						
Name	Area	Squares				
Living	109.20 m ²	11.75				
Garage	23.23 m ²	2.50				
Alfresco	13.28 m ²	1.43				
Porch	4.21 m ²	0.45				
	149.91 m ²	16.13				







1:100



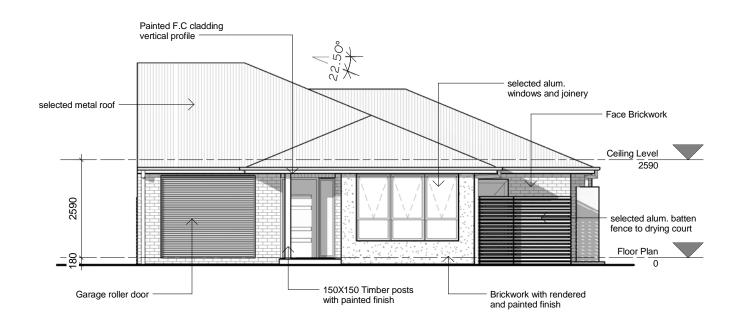
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 Aveo Retirement Living

			PLAN	Dwellir V2015.A	ng Type	3RH			
			FACADE	Metal Roc	Metal Roof / Render				
CURRENT REVISION /		B 01/02/17		SCALE	As indicated on A3				
	ISSUED DATE	Ь	01/02/11	DATE DRAWN	01/02/201	7	JOB #:	03	
	REAL PROPERTY DESCRIPTION	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	02

- Refer to colour specifications schedule for detailed
- internal and external colours/materials

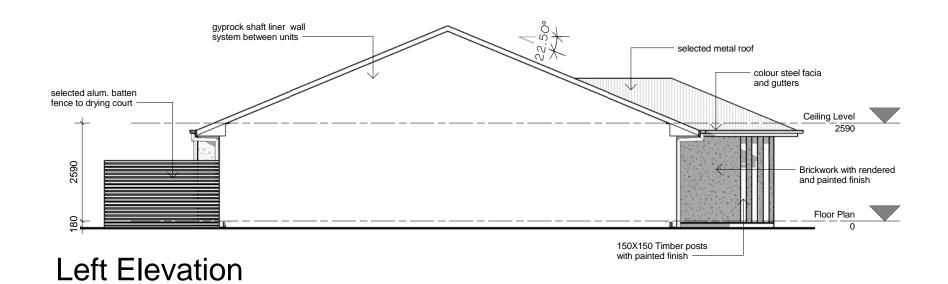
 Articulation joints as per engineering details

 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Front Elevation

1:100







1:100

Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307				
	Aveo Retirement Living	CURRENT REVISION / ISSUED DATE	Α	20/12/
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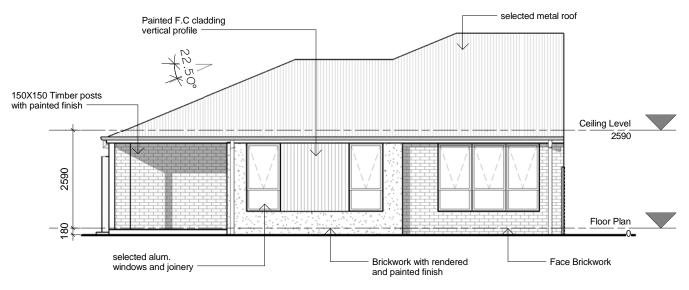
dens, Shortland NSW 2307				FACADE	Metal Roof / Render				
t Living CURRENT REVISION / A 20/12/16		SCALE 1 : 100 on A3							
t Living	ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/201	7	JOB #:	03	
ALL RIGHTS RESERVED, ANY DISCREPANCY OR DEVIATION FROM THIS PLAN IS TO BE REPORTED TO PALADIN PROJECTS PTY LTD FOR TED FOR UNREPORTED DEVIATIONS OR ALTERATIONS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES.	REAL PROPERTY DESCRIPTION	ROPERTY LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	03
	•			•					

Dwelling Type 3RH

V2015.A

PLAN

- Refer to colour specifications schedule for detailed internal and external colours/materials
- internal and external colours/materialsArticulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Right Elevation

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

AVEO RETIREMENT LIVING

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 REAL PROPERTY DESCRIPTION
 LOT / DP
 DRAW

 PLAN
 Dwelling Type 3RH

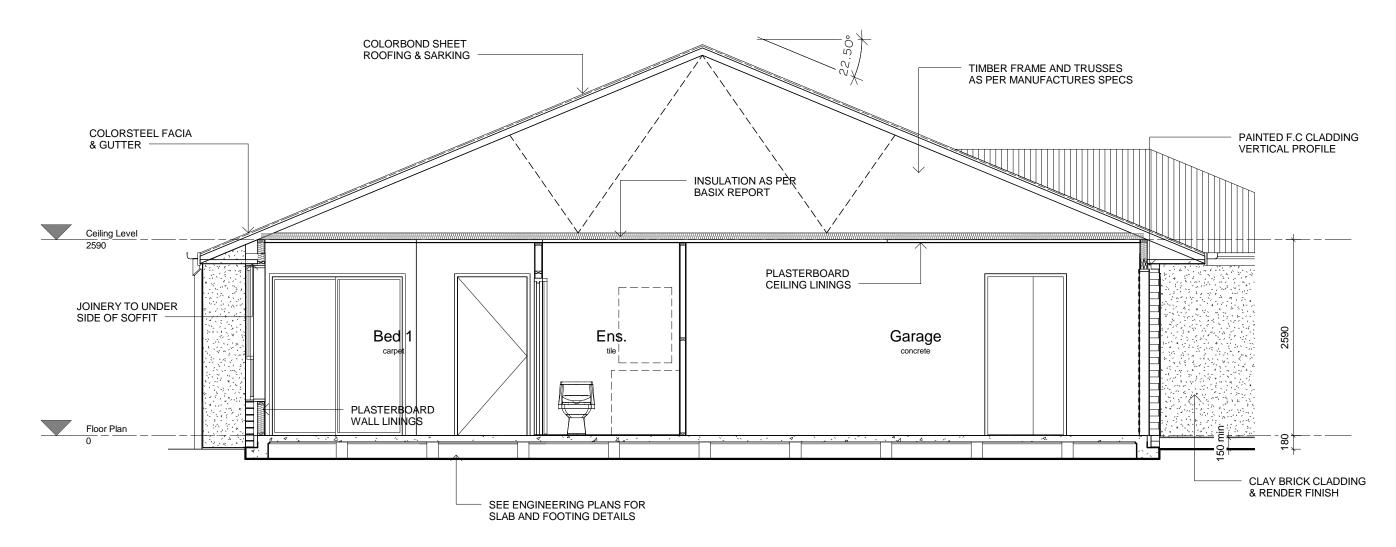
 V2015.A
 V2015.A

 FACADE
 Metal Roof / Render

 SCALE
 1:100 on A3

 DATE DRAWN
 01/02/2017
 JOB #: 03

 DRAWN
 ST
 CHKD TS
 SHEET # 04



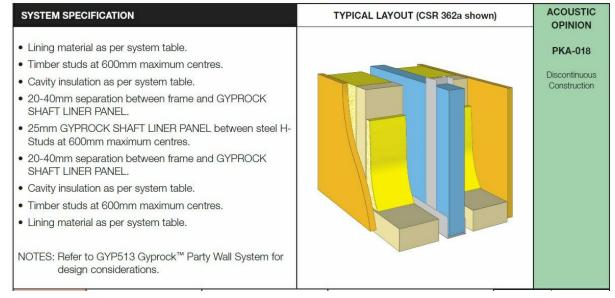
Section A

1:50

Party Wall (CSR 361(b) or Equal)

FRL	SYSTEM		STUD DEPTH mm	70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	Rw / Rw+Ctr	
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60 EWFA 45743		BOTH SIDES • 2 x 10mm GYPROCK Plasterboard CD.	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
			(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier







Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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CURRENT REVISION / A 20/12/16

REAL PROPERTY DESCRIPTION LOT / DP

 PLAN
 Dwelling Type 3RH

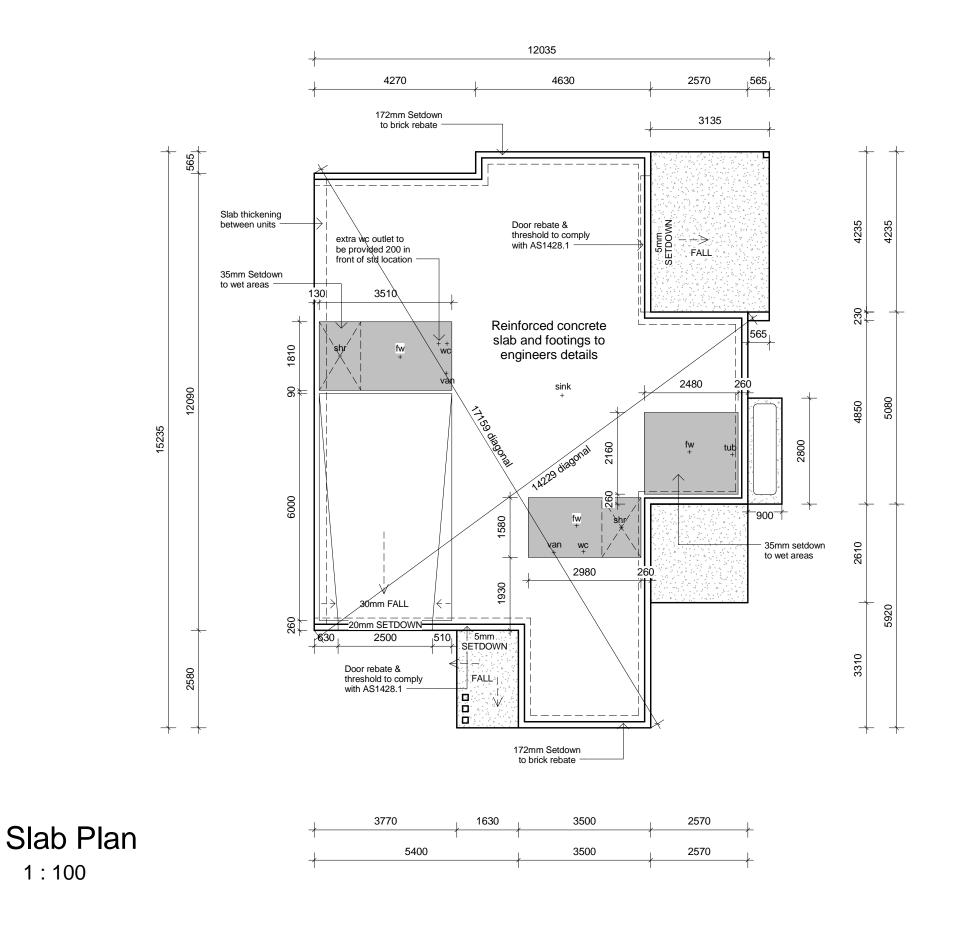
 V2015.A

 FACADE
 Metal Roof / Render

 SCALE
 1:50 on A3

 DATE DRAWN
 01/02/2017
 JOB #: 03

 DRAWN
 ST
 CHKD
 TS
 SHEET # 05



- all dimensions to be confirmed on site
 all construction to be as per soil engineers details
 slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &





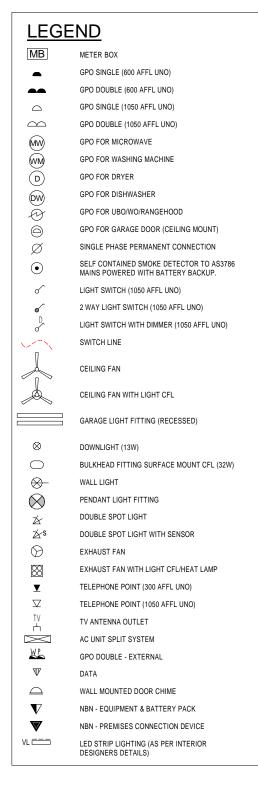
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Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

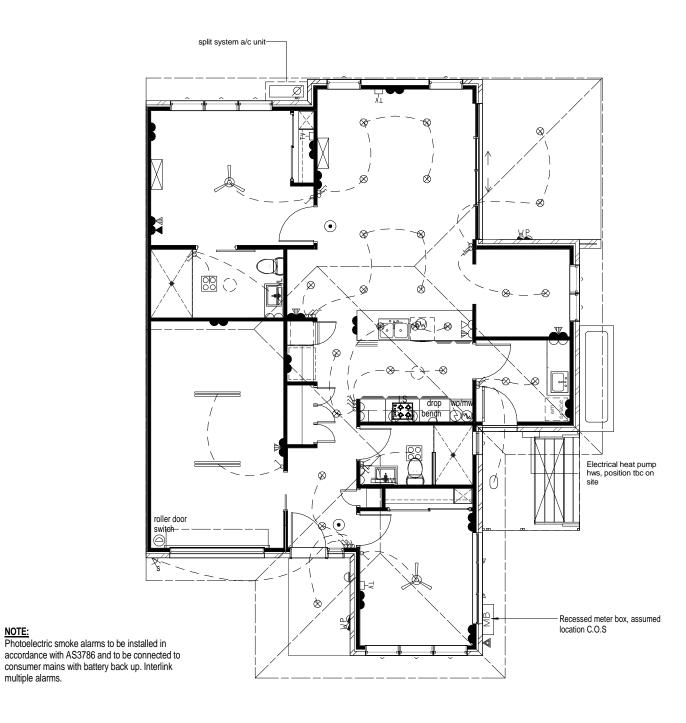
Aveo Retirement Living

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			PLAN	Dwellir V2015.A	ng Type	3RH		
			FACADE	Metal Roc	of / Render			
CURRENT REVISION /	Α	20/12/16	SCALE	1 : 100 on A3				
ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / DF	D	DRAWN	ST	CHKD	TS	SHEET#	06



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



Electrical Plan

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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Dwelling Type 3RH PLAN V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN SHEET# 07 CHKD TS

ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR DESIGNERS DRAWINGS)

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM.

-SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L
-GPO'S AT LEAST 600mm HIGH A.F.L
-ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN
INTERNAL CORNER.
-GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE

REACHED WITH FRIDGE INSTALLED
-ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE REQUIREMENTS OF SEPP 5.

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

GENERAL NOTES:

- All dimensions in millimetres.
- 2. Dimensions take preference to scale and are to structure not finish.
- 3. Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the Building Code of Australia and all relevant current Australian Standards. Any
 outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturers specification means a current approved specification for use under the conditions applicable.
- 6. UNO = Unless Noted Otherwise.
 - DPC = Damp Proof Course.
 - OMP = Outer Most Point.
- It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- 8. Provide a Thermostatic mixing valve to all the hot water outlets.

These plans are to be read in conjuction with any structural and civil engineering computions and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

Provide articulation joins to engineers details

All works shall comply with but not limited to the National Construction Code, the Building Code of Australia. referenced standards and the Australian Standards listed below.

- AS 1288 1994 GLASS IN BUILDINGS SELECTION AND INSTALLATION
- AS 1562 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 1999 NATIONAL TIMBER FRAMING CODE
- AS 2049 1992 ROOF TILES
- AS 2050 1995 INSTALLATION OF ROOF TILES
- AS 2870 1996 RESIDENTIAL SLAB AND FOOTINGS CONSTRUCTION
- AS INZS 2904 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 1994 CONCRETE STRUCTURES
- AS 3660 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 1998 MASONRY IN BUILDINGS
- AS 3786 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 4055 1992 WIND LOADING FOR HOUSES
- AS 4100 1996 STEEL STUCTURES

BASI

THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

<u>SEPP</u>

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) # 5 (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) - 2004

Revision Description	Revision Date
Working Drawings	20/12/16
Change Door to Cavity Slider	01/02/17
	Working Drawings

	Sheet List						
Sheet Number	Sheet Name	Current Revision	Current Revision Date	Current Revision Issued By			
01	Title Page	В	01/02/17	ST			
02	Floor Plan	В	01/02/17	ST			
03	Elevations	Α	20/12/16	SSH			
04	Elevations	Α	20/12/16	SSH			
05	Sections/Details	Α	20/12/16	SSH			
06	Slab Plan	Α	20/12/16	SSH			
07	Electrical Plan	Α	20/12/16	SSH			

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point
- where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- c. Sizes of timber members may vary upon ordering requirements but must remain within the guidelines of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external $\,$
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

WET AREA SURFACES

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

Legend :-

AC AFL	Air Conditioning Above Floor Level	NCC NGL	National Construction Code Natural Ground Line
A	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or window
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Position
FG	Fixed Glass	UBO	Under Bench Öven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe
LBW	Load Bearing Wall		



3D Front

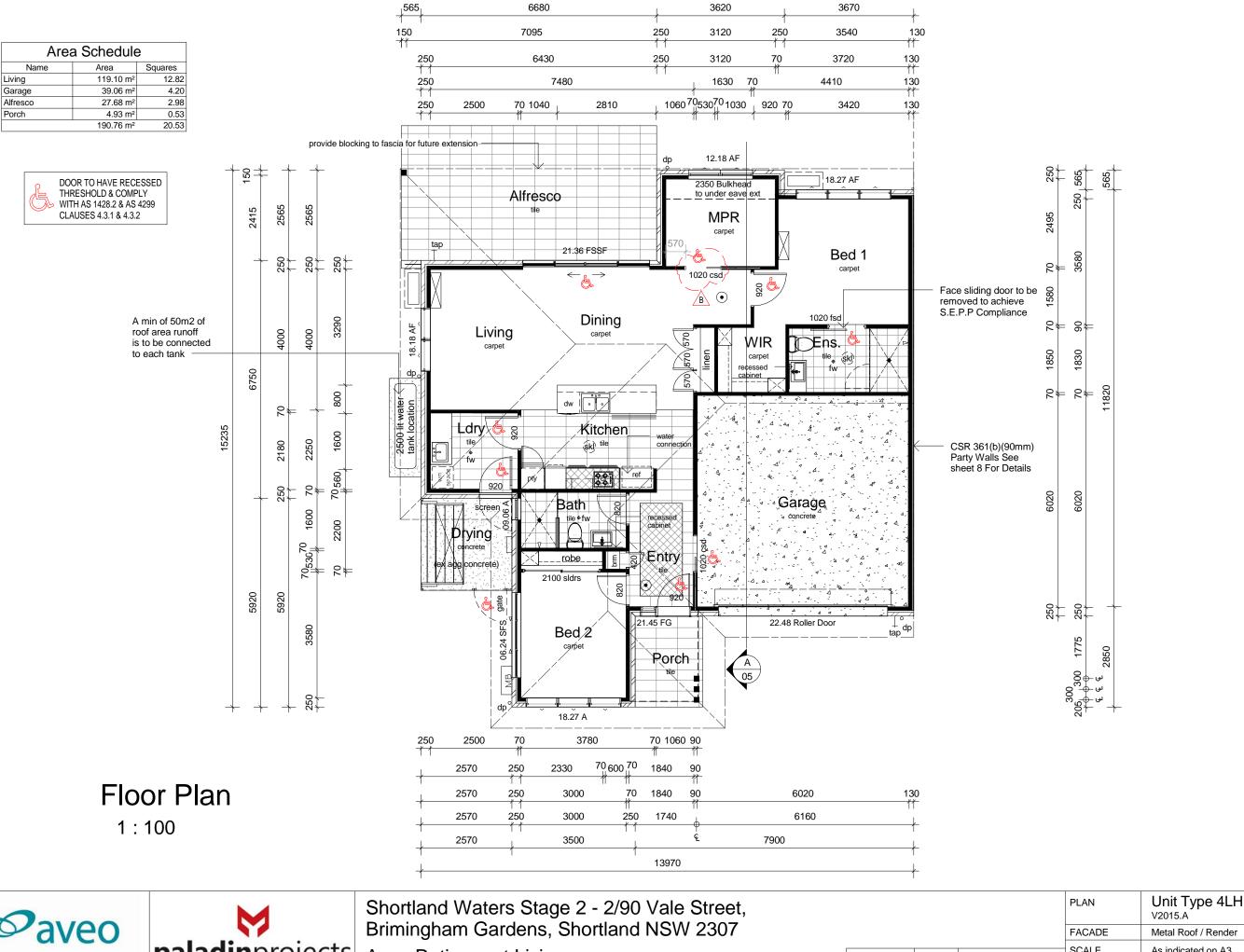




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

				PLAN	Unit Type 4LH V2015.A					
				FACADE	Metal Roc	f / Render				
	CURRENT REVISION /	В	01/02/17	SCALE						
	ISSUED DATE		01/02/11	DATE DRAWN			03			
R	REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN			TS	SHEET#	01	



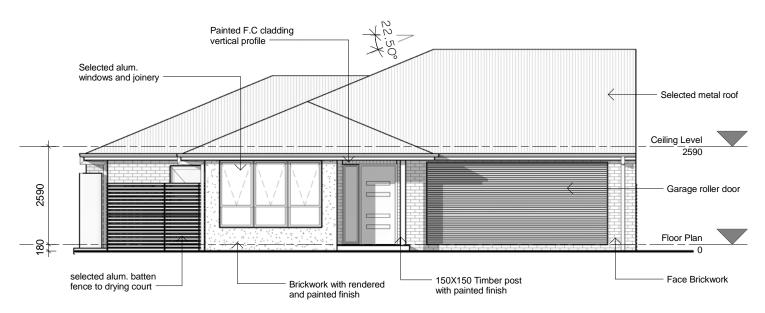




Aveo Retirement Living

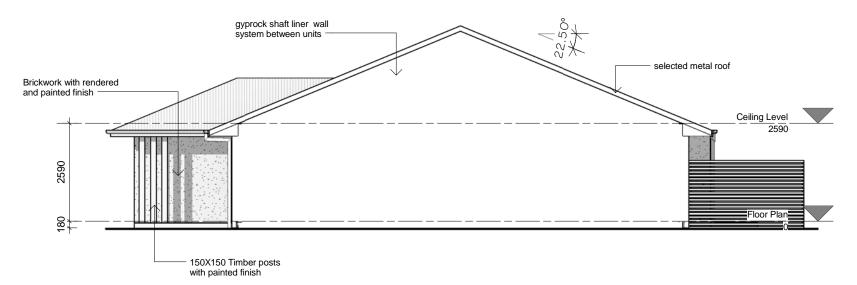
Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / ISSUED DATE 01/02/17 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN CHKD SHEET# 02

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Front Elevation

1:100



Right Elevation

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

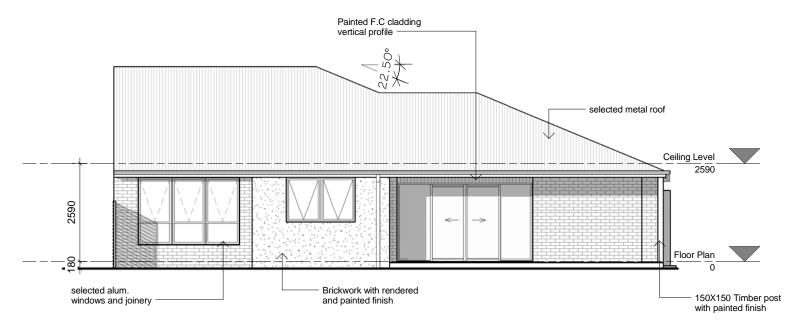
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V2015.A **FACADE** Metal Roof / Render SCALE 1:100 on A3 CURRENT REVISION / ISSUED DATE 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN CHKD TS SHEET# 03

PLAN

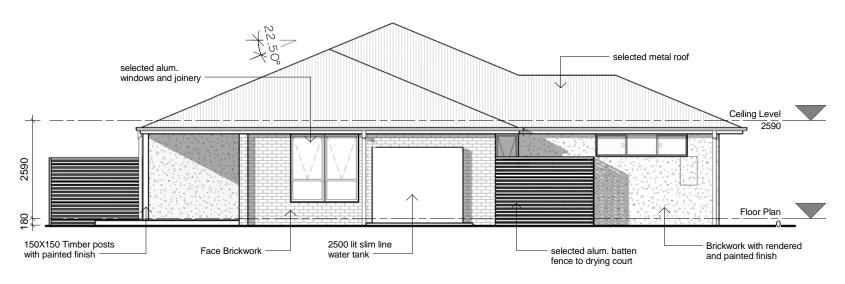
Unit Type 4LH

- Refer to colour specifications schedule for detailed internal and external colours/materials
- · Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Left Elevation

1:100



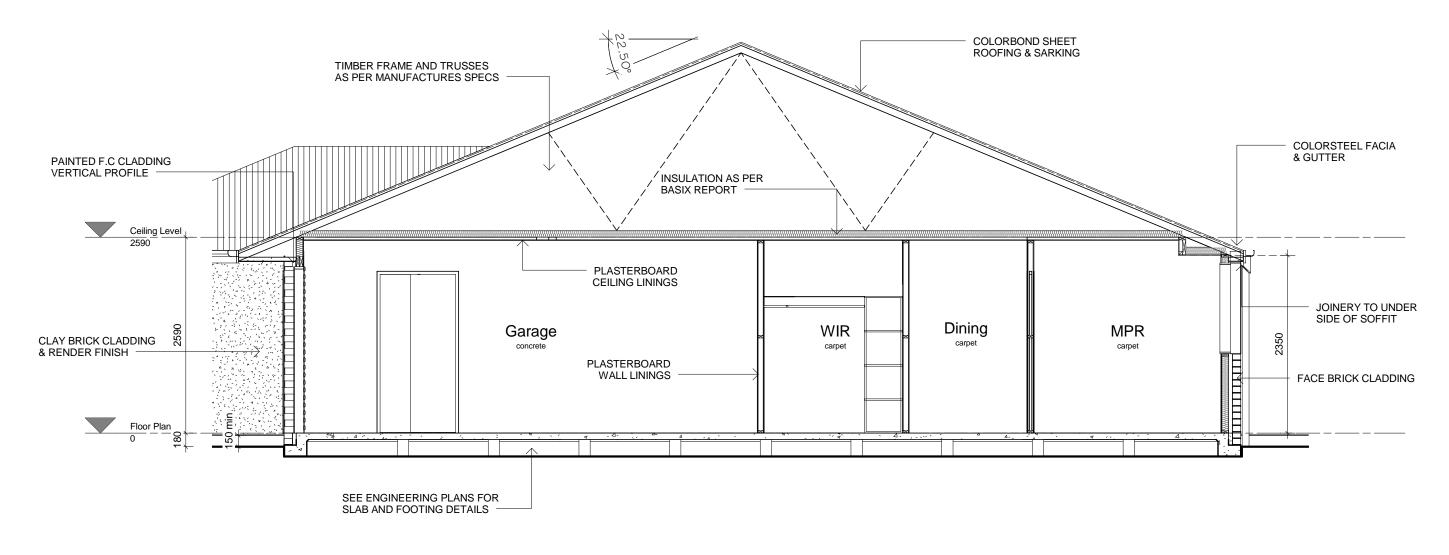


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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SCALE CURRENT REVISION / ISSUED DATE 20/12/16 LOT / DP

Unit Type 4LH PLAN V2015.A **FACADE** Metal Roof / Render 1:100 on A3 DATE DRAWN 01/02/2017 JOB #: DRAWN CHKD TS SHEET# 04



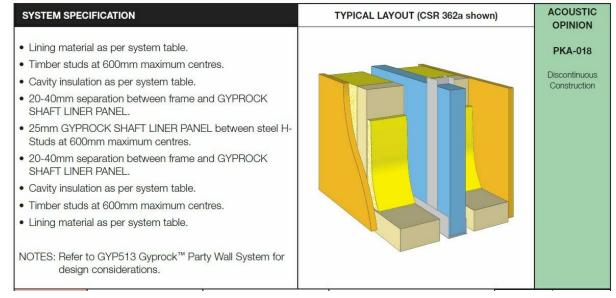
Section A

1:50

Party Wall (CSR 361(b) or Equal)

FRL	SYSTEM		STUD DEPTH mm	70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	Rw / Rw+Ctr	
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60	/60/60 Вотн Sides • 2 x 10mm GYPROCK	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51	
EWFA 45743 Plasterboard CD.		(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51	
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier



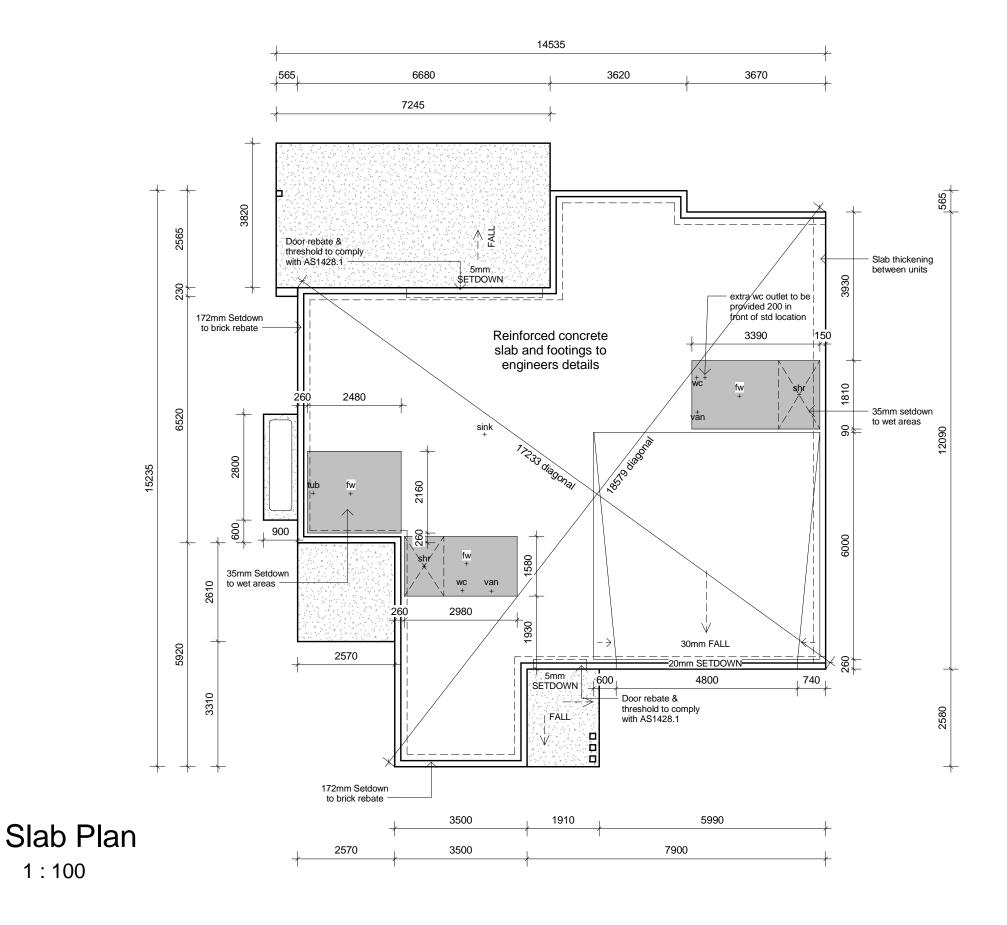




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 Aveo Retir

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			PLAN	Unit Type 4LH V2015.A					
			FACADE	Metal Roof / Render					
	CURRENT REVISION /	Α	20/12/16	SCALE	1 : 50 on A3				
	ISSUED DATE			DATE DRAWN	01/02/2017		JOB #:	03	
	REAL PROPERTY DESCRIPTION LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	05	





- all dimensions to be confirmed on site
 all construction to be as per soil engineers details
 slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &





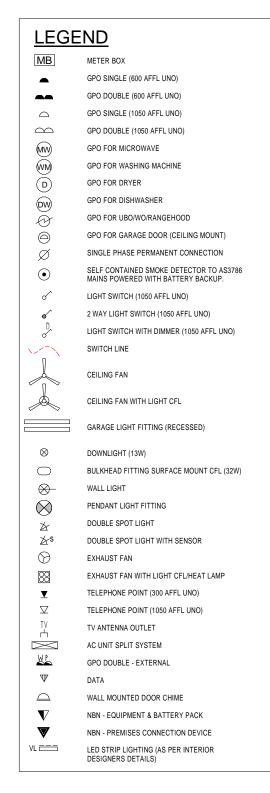
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

			FACADE	Metal Roof / Render					
	CURRENT REVISION / ISSUED DATE	A	20/12/16	SCALE	1 : 100 on A3				
				DATE DRAWN	01/02/2017		JOB #:	03	
	REAL PROPERTY DESCRIPTION	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	06

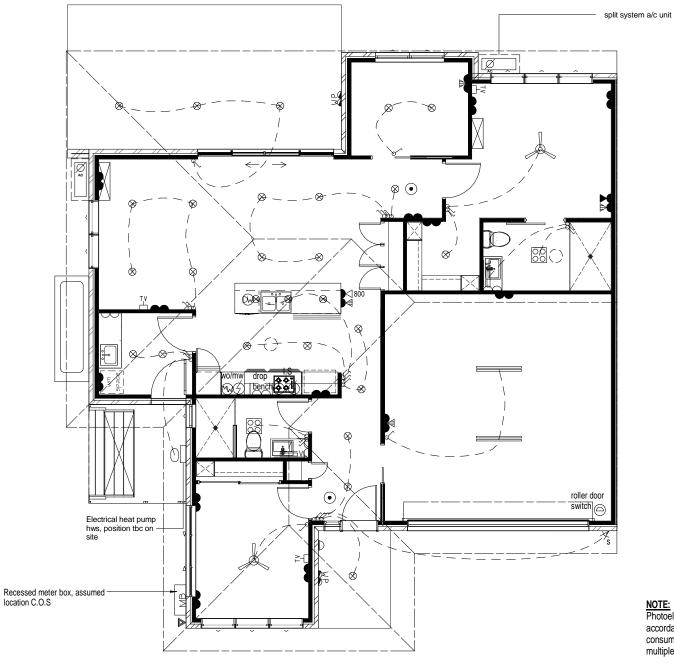
PLAN

Unit Type 4LH

V2015.A



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR DESIGNERS DRAWINGS)

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM. -SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L -GPO'S AT LEAST 600mm HIGH A.F.L -ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER. -GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE REACHED WITH FRIDGE INSTALLED -ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE REQUIREMENTS OF SEPP 5.

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

Photoelectric smoke alarms to be installed in accordance with AS3786 and to be connected to consumer mains with battery back up. Interlink

Electrical Plan

1:100





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living
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DR .	REAL PROPERTY DESCRIPTION	LOT / DP		DATE DRAWN DRAWN	01/02/201 ST	7 CHKD	JOB#: TS	03 SHEET #	07
	CURRENT REVISION /			SCALE	As indicated on A3				
			FACADE	Metal Roc	Metal Roof / Render				
				PLAN	Unit Type 4LH V2015.A		1		

GENERAL NOTES:

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- DPC = Damp Proof Course.
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- It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- 8. Provide a Thermostatic mixing valve to all the hot water outlets.

These plans are to be read in conjuction with any structural and civil engineering computions and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

Provide articulation joins to engineers details

All works shall comply with but not limited to the National Construction Code, the Building Code of Australia, referenced standards and the Australian Standards listed below.

- AS 1288 1994 GLASS IN BUILDINGS SELECTION AND INSTALLATION
- AS 1562 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 1999 NATIONAL TIMBER FRAMING CODE
- AS 2049 1992 ROOF TILES
- AS 2050 1995 INSTALLATION OF ROOF TILES
- AS 2870 1996 RESIDENTIAL SLAB AND FOOTINGS CONSTRUCTION
- AS /NZS 2904 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 1994 CONCRETE STRUCTURES
- AS 3660 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 1998 MASONRY IN BUILDINGS
- AS 3786 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 4055 1992 WIND LOADING FOR HOUSES
- AS 4100 1996 STEEL STUCTURES

BASIX

THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

SEPP

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) # 5 (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) - 2004

Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/16
В	Change Door to Cavity Slider	01/02/17

Legend:-

Sheet

Number

Title Page

Floor Plan

Elevations

Elevations

Slab Plan

Electrical Plan

Sections/Details

01

02

03

AC	Air Conditioning	NCC	National Construction Code
AFL	Above Floor Level	NGL	Natural Ground Line
Α	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or window
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Position
FG	Fixed Glass	UBO	Under Bench Öven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe
LBW	Load Bearing Wall		

Sheet List

Sheet Name

Current

В

Α

Α

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Α

Revision

Current

By

ST

ST

SSH

SSH

SSH

SSH

SSH

evision Issued

Current

Revision Date

01/02/17

01/02/17

20/12/16

20/12/16

20/12/16

20/12/16

20/12/16

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point
- where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- Sizes of timber members may vary upon ordering requirements but must remain within the guidelines
 of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

WET AREA SURFACES

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.



3D Front



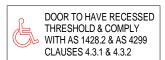


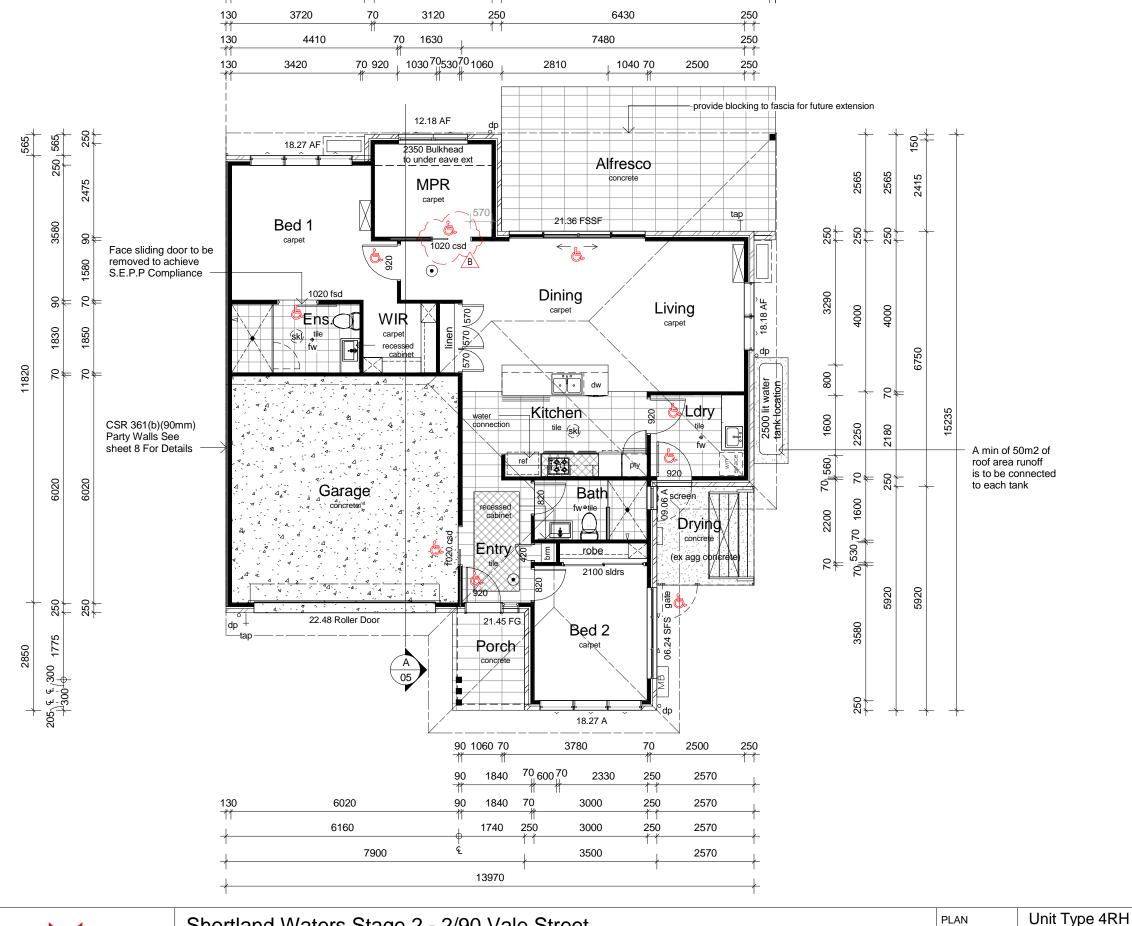
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

				PLAN	Unit Ty V2015.A	/pe 4Rl	1		
			FACADE	Metal Roof / Render					
	CURRENT REVISION / B 01/02/17		SCALE	1 : 100 on A3					
	ISSUED DATE	B 01/02/17		DATE DRAWN	01/02/2017		JOB #:	03	
DR	REAL PROPERTY DESCRIPTION LOT / DP		P	DRAWN	ST	CHKD	TS	SHEET#	01

Area Schedule					
Name	Area	Squares			
Living	119.10 m ²	12.82			
Garage	39.06 m ²	4.20			
Alfresco	27.68 m ²	2.98			
Porch	4.93 m ²	0.53			
	190.76 m ²	20.53			







1:100





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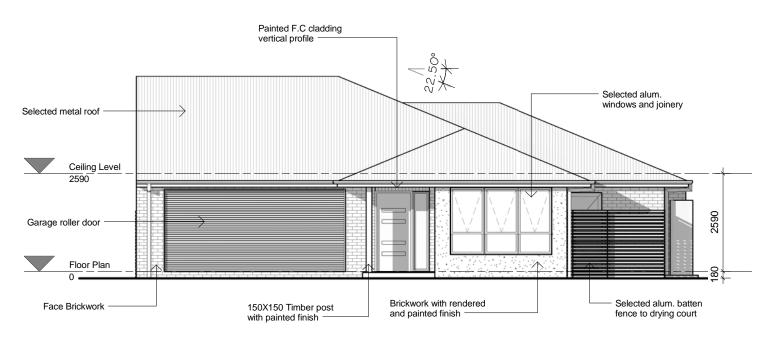
Aveo Retirement Living

REAL PROPERTY DESCRIPTION		CURRENT REVISION / ISSUED DATE
	PTY LTD FOR	

01/02/17

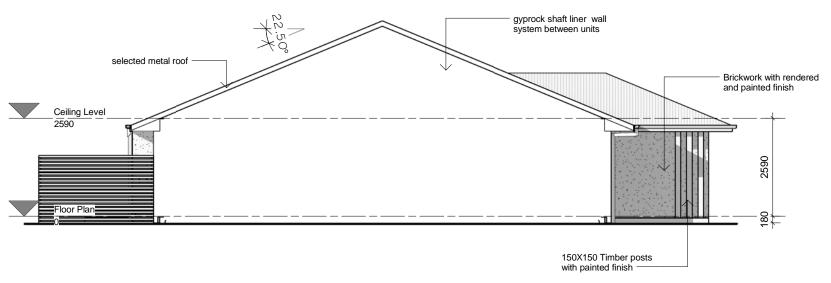
LOT / DP

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Front Elevation

1:100



Left Elevation

1:100





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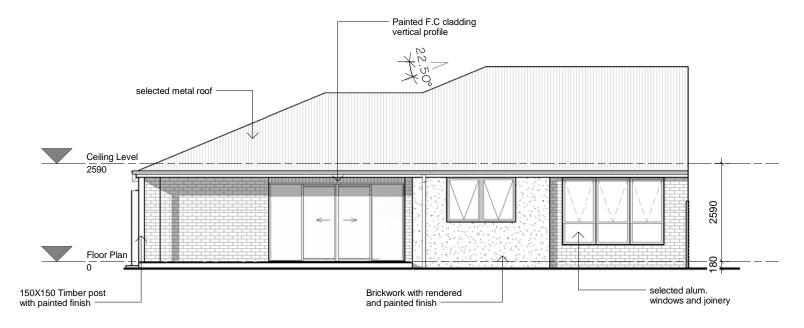
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			FACADE	Metal Roof / Render					
	CURRENT REVISION /	PROPERTY LOT / DP		SCALE	1 : 100 on A3				
	ISSUED DATE			DATE DRAWN	01/02/2017		JOB #:	03	
	REAL PROPERTY DESCRIPTION			DRAWN	ST	CHKD	TS	SHEET#	0

PLAN

Unit Type 4RH

- Refer to colour specifications schedule for detailed internal and external colours/materials
- · Articulation joints as per engineering details
- All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Right Elevation

1:100



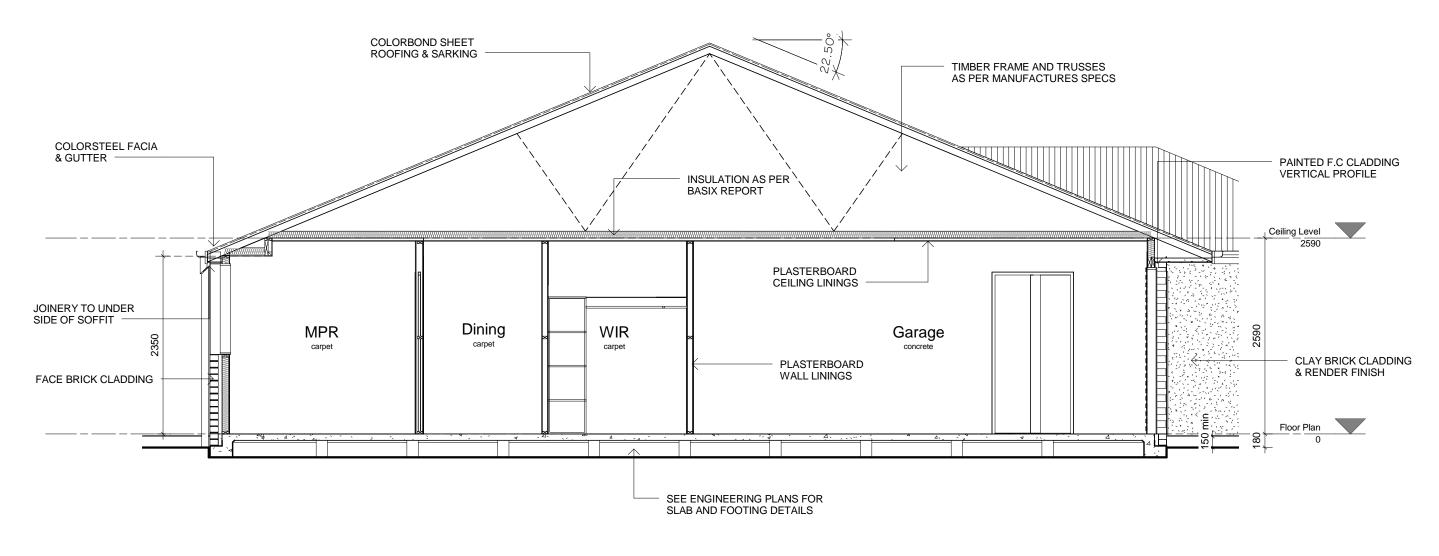


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CURRENT REVISION / ISSUED DATE 20/12/16 LOT / DP

Unit Type 4RH PLAN V2015.A **FACADE** Metal Roof / Render SCALE 1:100 on A3 DATE DRAWN 01/02/2017 JOB #: DRAWN CHKD TS SHEET# 04



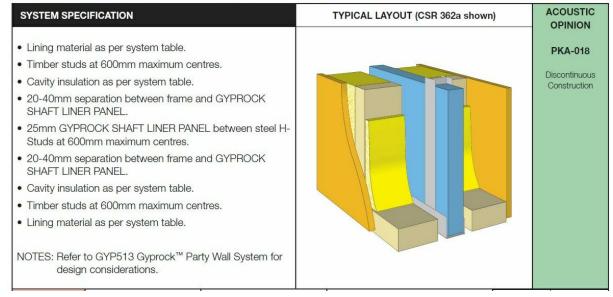
Section A

1:50

Party Wall (CSR 361(b) or Equal)

FRL	SYSTEM		STUD DEPTH mm	70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	Rw / Rw+Ctr	
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60 EWFA 45743		BOTH SIDES • 2 x 10mm GYPROCK Plasterboard CD.	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
			(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier







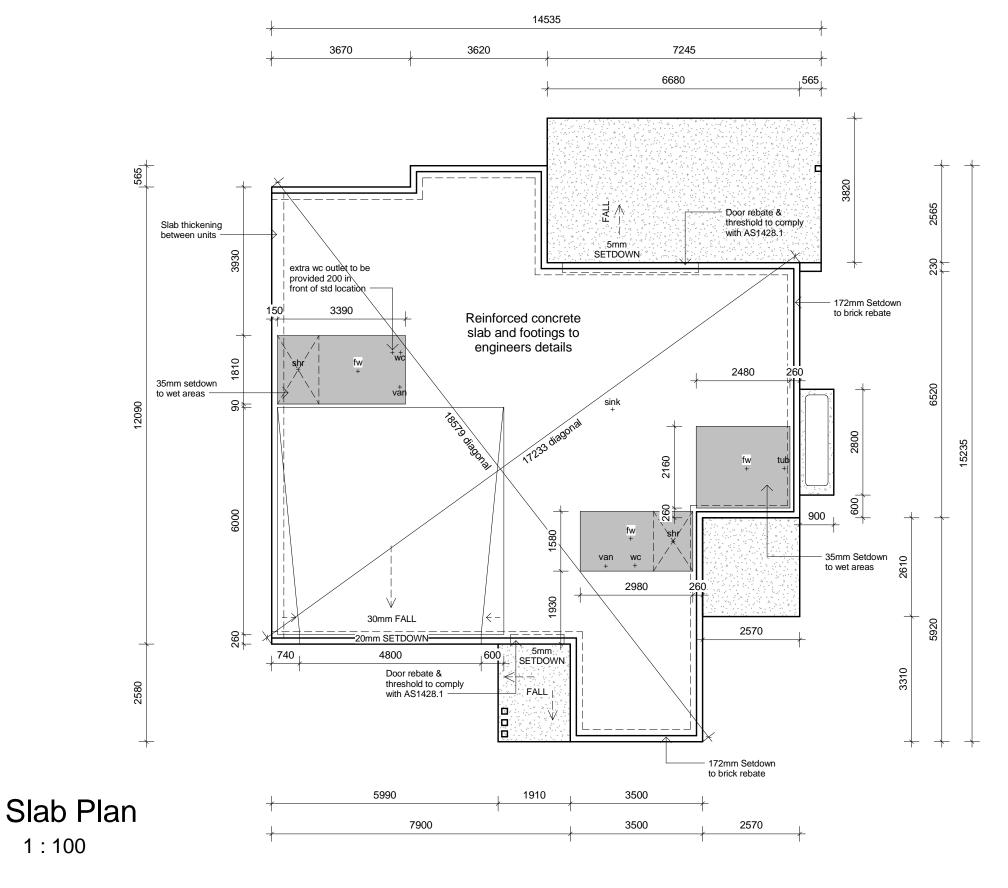
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					V2015.A				
				FACADE	Metal Roof / Render				
	CURRENT REVISION /	A 20/12/16		SCALE	1 : 50 on A3				
	ISSUED DATE	^	20/12/10	DATE DRAWN	01/02/201	7	JOB #:	03	
	REAL PROPERTY DESCRIPTION	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	05

PLAN

Unit Type 4RH



- all dimensions to be confirmed on site
- all construction to be as per soil engineers details - slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &

Unit Type 4RH

SHEET# 06

V2015.A

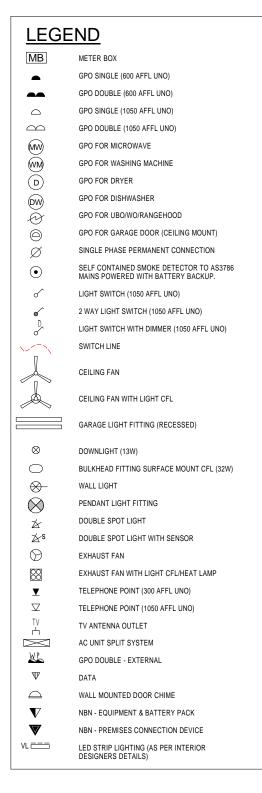




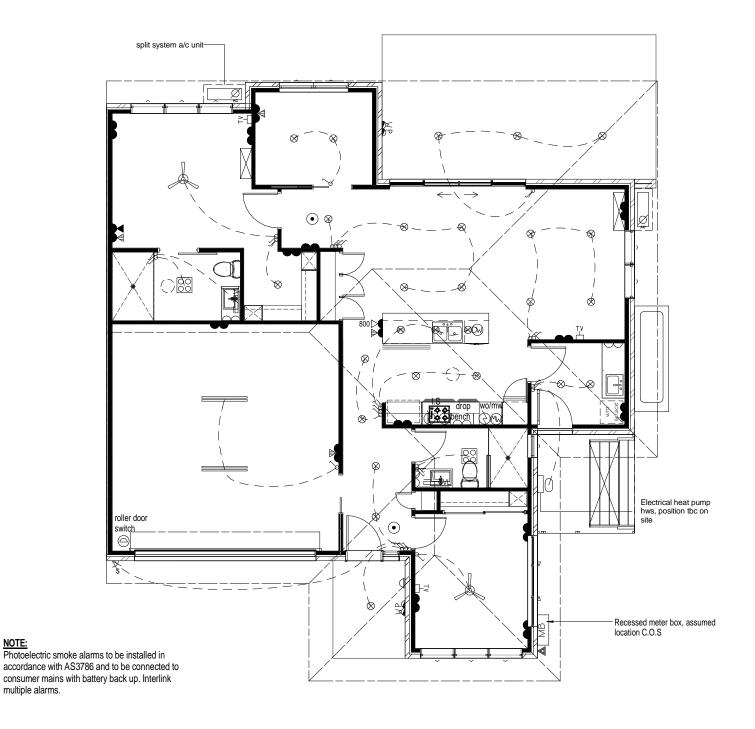
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FACADE Metal Roof / Render SCALE 1:100 on A3 CURRENT REVISION / ISSUED DATE 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN CHKD

PLAN



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



Electrical Plan

1:100

multiple alarms.





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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Unit Type 4RH PLAN V2015.A **FACADE** Metal Roof / Render SCALE As indicated on A3 CURRENT REVISION / 20/12/16 DATE DRAWN 01/02/2017 JOB #: LOT / DP DRAWN SHEET# 07 CHKD TS

ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR DESIGNERS DRAWINGS)

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM. -SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L -GPO'S AT LEAST 600mm HIGH A.F.L -ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER. -GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE REACHED WITH FRIDGE INSTALLED -ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

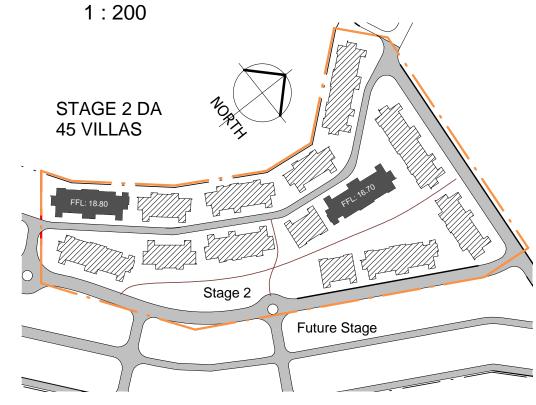






ELEVATION D

Building Plan D-2



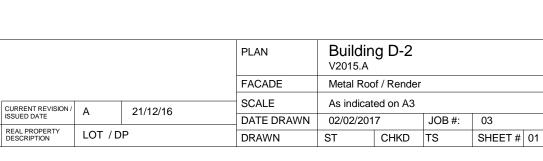




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

				PLAN	Building D-2 V2015.A				
		FACADE	Metal Roof / Render						
	CURRENT REVISION / A		21/12/16	SCALE	As indicated on A3				
	ISSUED DATE	Α	21/12/10	DATE DRAWN	02/02/2017		JOB #:	03	
	REAL PROPERTY DESCRIPTION	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	01





selected metal roof

colour steel facia

colour steel facia

and gutters



aveo

Retirement Living

Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

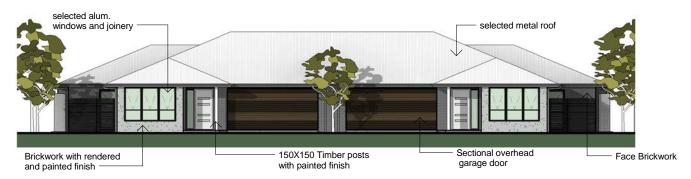


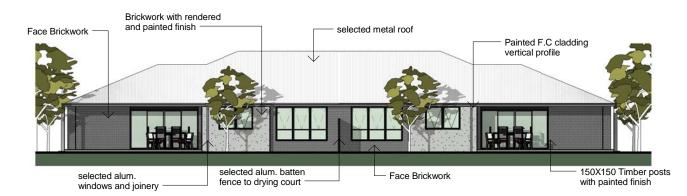


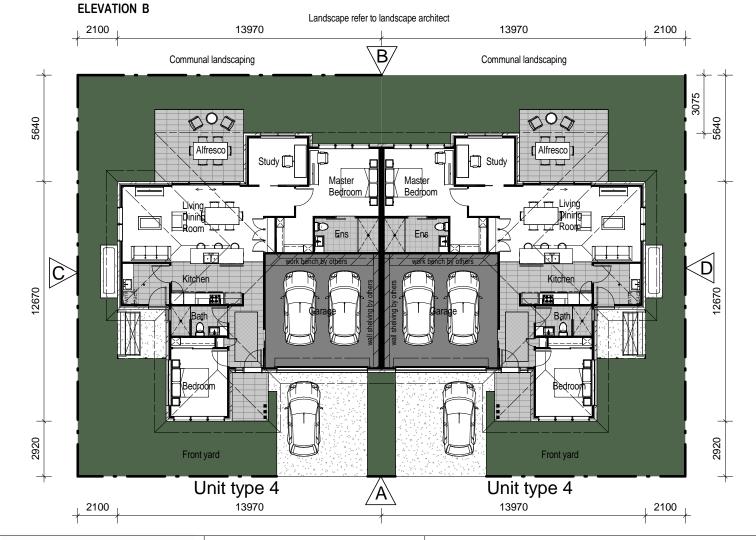


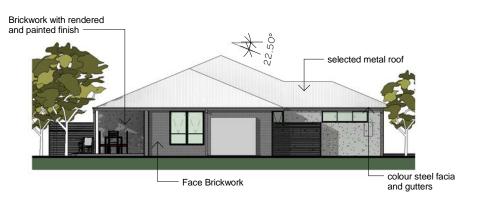
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

				V2015.A			
			FACADE	Metal Roof / Render			
CURRENT REVISION /	Α	21/12/16	SCALE	As indicated on A3			
ISSUED DATE		21/12/10	DATE DRAWN	02/02/201	7	JOB #:	03
REAL PROPERTY DESCRIPTION	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#

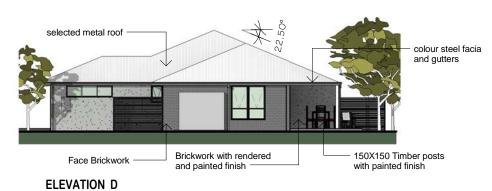






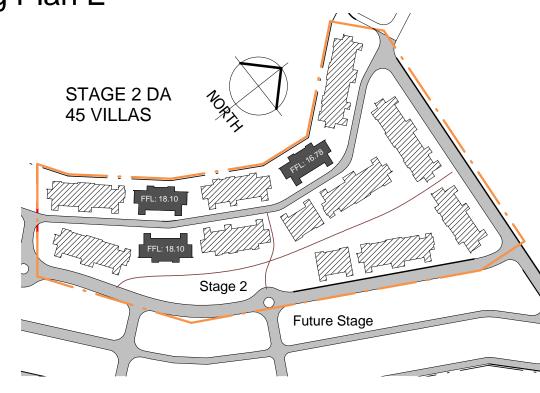


ELEVATION C



Building Plan E

1:200

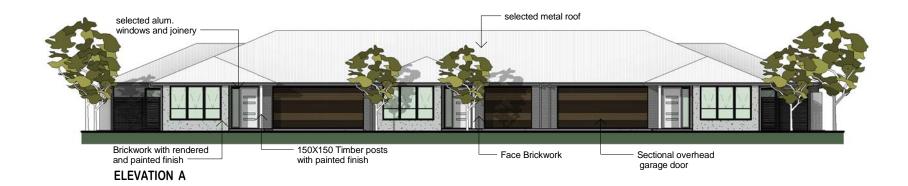




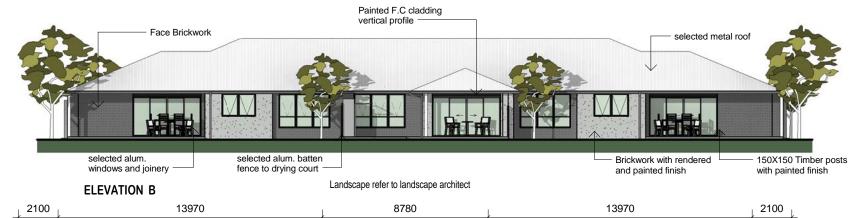


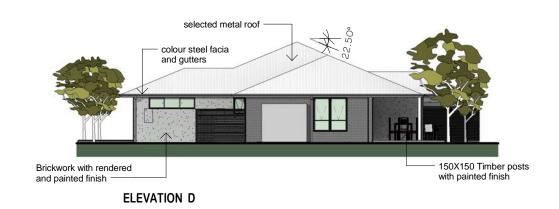
Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

			PLAN	Buildin V2015.A	ıg E-1			
			FACADE	Metal Roo	of / Render			
CURRENT REVISION /	SION / A 21/12/16		SCALE	As indicat	As indicated on A3			
ISSUED DATE	^	21/12/10	DATE DRAWN	02/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	DP DRAWN		ST	CHKD	TS	SHEET#	01









Communal landscaping Communal landscaping Communal landscaping 000 000 Alfresco Alfresco Dining TROOM নিটা Unit type 1 A Unit type 4 Unit type 4









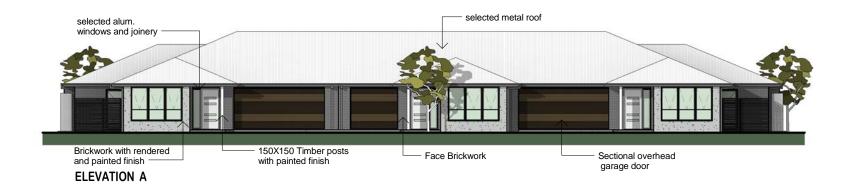
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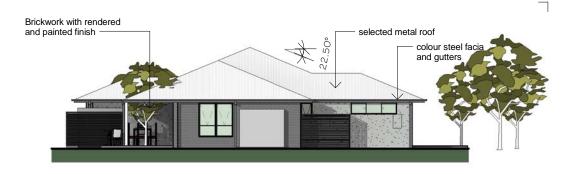
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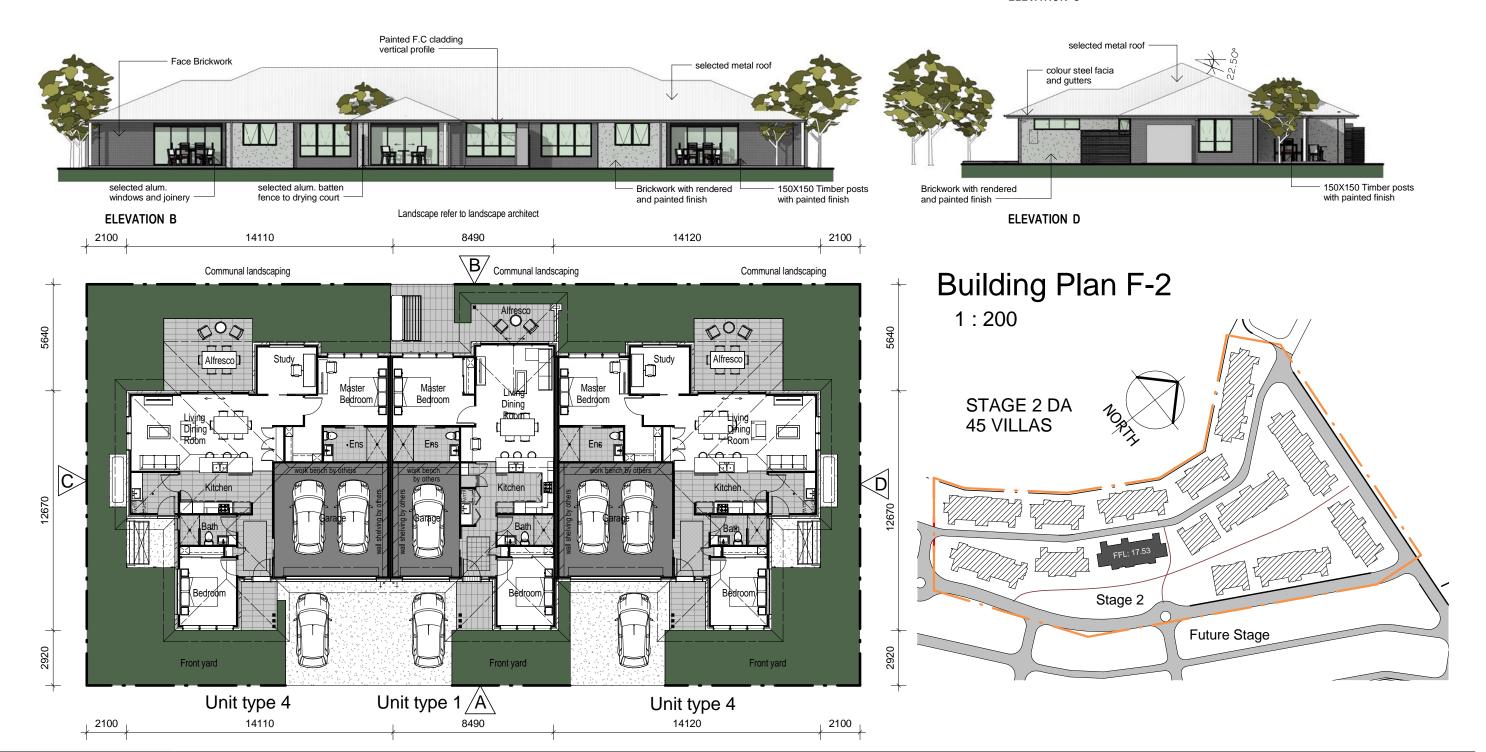
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ISSUED DATE	A 21/12/10		DATE DRAWN	02/02/201	7	JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST CHKD TS		SHEET#	01	











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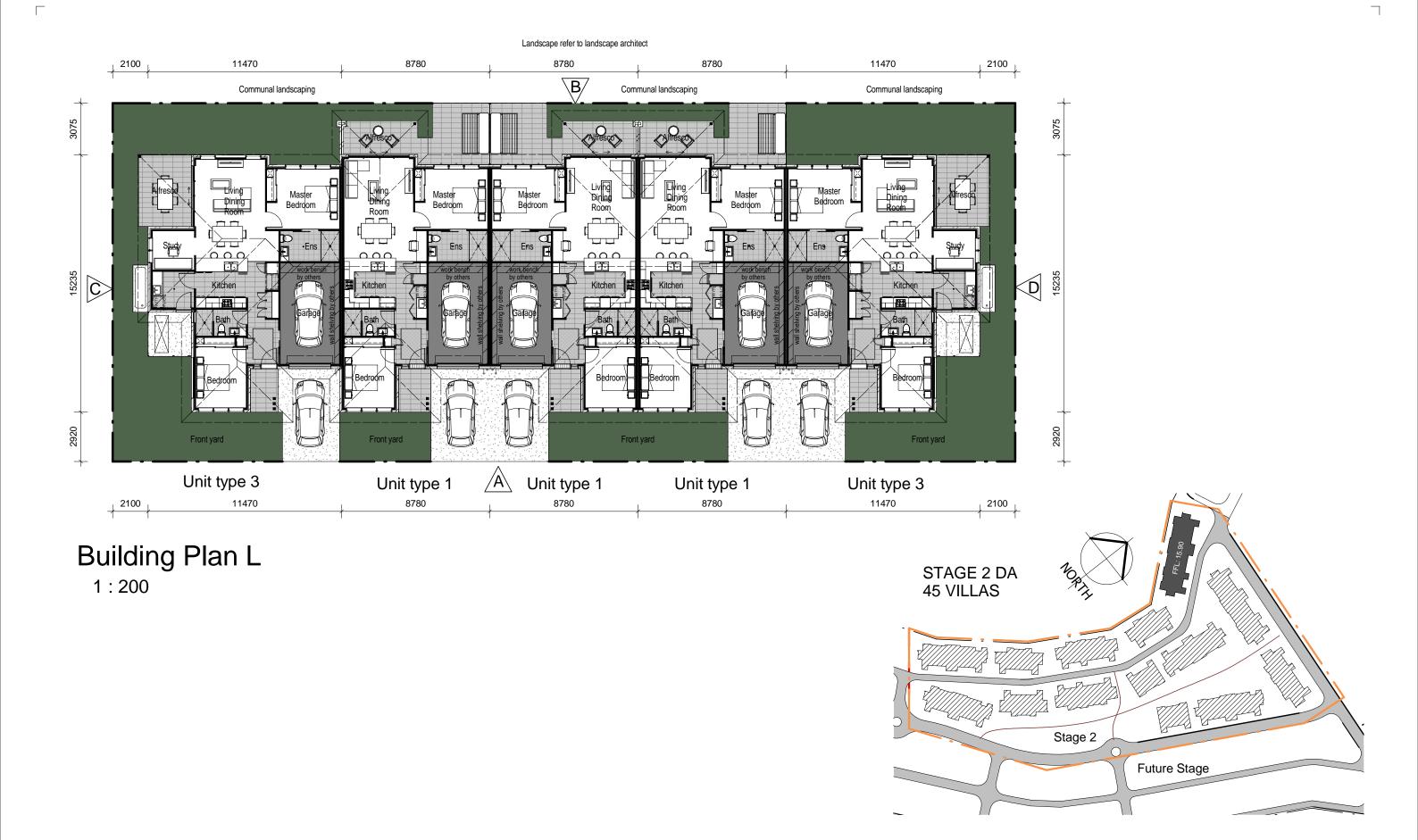
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 Building F-2 V2015.A

 FACADE
 Metal Roof / Render

 SCALE
 As indicated on A3

 DATE DRAWN
 02/02/2017
 JOB #: 03

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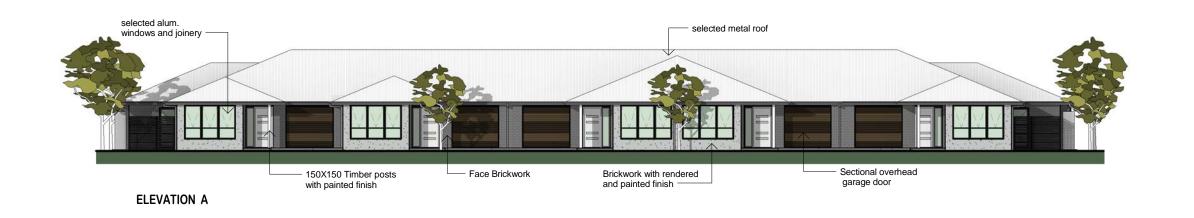


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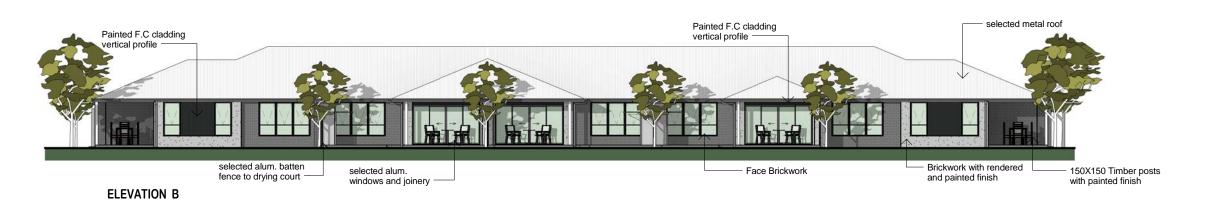
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				PLAN	Buildin V2015.A	g L-1			
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CURRENT REVISION / A		Α	21/12/16	SCALE	As indicat	As indicated on A3			
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	REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST CHKD		TS	SHEET#	01











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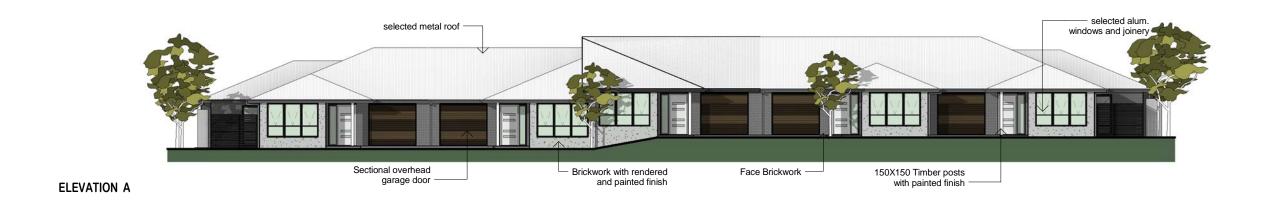


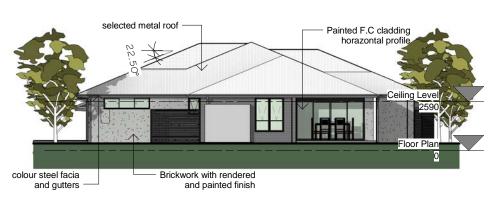


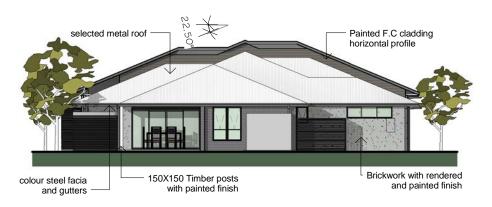


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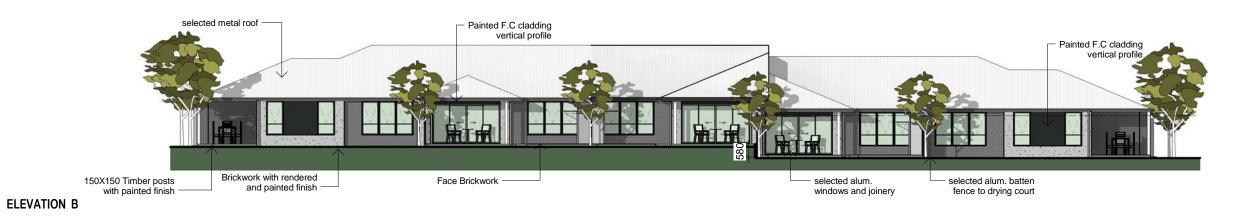
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REAL PROPERTY DESCRIPTION	LOT / D	P	DRAWN	ST CHKD TS SHEET # 01			01	







ELEVATION D

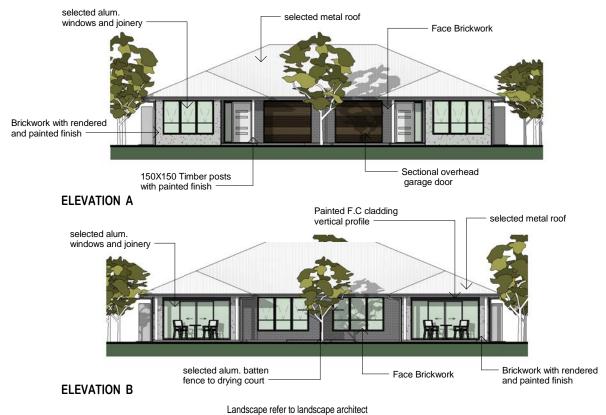


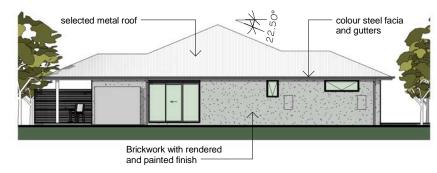


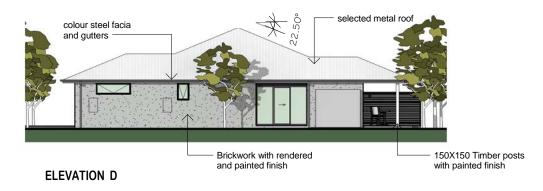


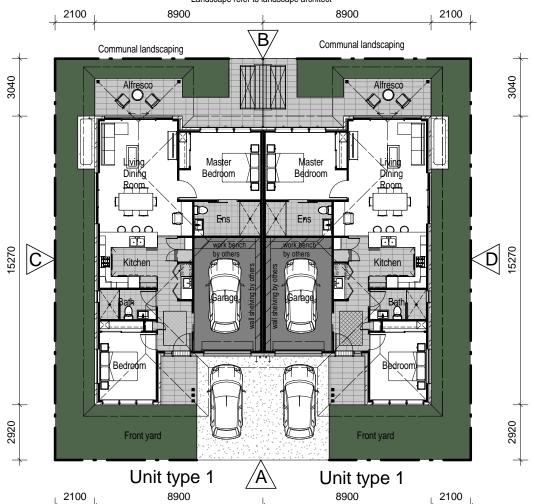
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REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST	CHKD	TS	SHEET#	02



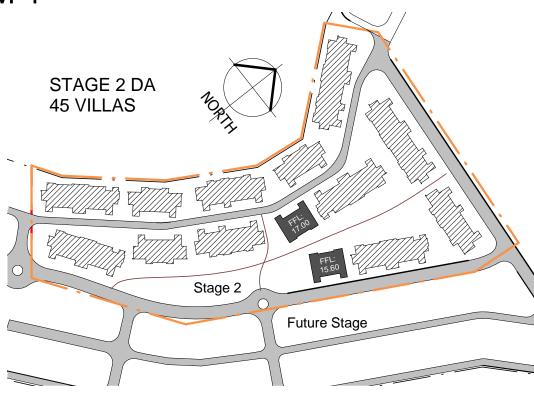






Building Plan M-1

1:200







Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

			PLAN	Buildin V2015.A	g M1-1			
			FACADE	Metal Roo	of / Render			
CURRENT REVISION /	A 21/12/16		SCALE	As indicat	As indicated on A3			
ISSUED DATE	^	21/12/10	DATE DRAWN	02/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	Р	DRAWN	ST CHKD TS		TS	SHEET#	01

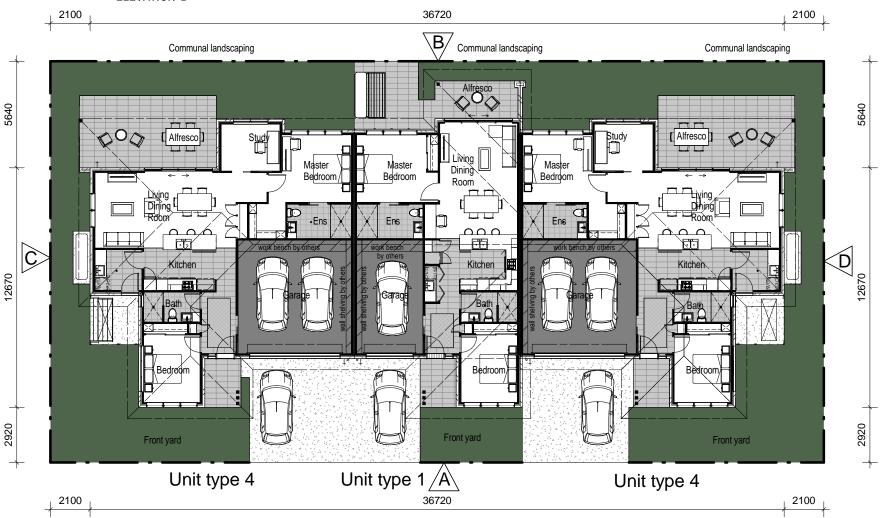






ELEVATION D

Painted F.C cladding vertical profile Selected metal roof selected alum. selected alum. batten windows and joinery ELEVATION B Painted F.C cladding vertical profile Selected alum. batten selected metal roof Brickwork with rendered and painted finish with painted finish And painted finish 2000



Building Plan N-1







Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

Aveo Retirement Living

			PLAN	Buildin V2015.A	g N-1			
		FACADE	Metal Roof / Render					
CURRENT REVISION /	A 21/12/16		SCALE	As indicated on A3				
ISSUED DATE	Α	21/12/10	DATE DRAWN	02/02/2017		JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	P	DRAWN	ST CHKD TS		TS	SHEET#	01

GENERAL NOTES:

- All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish.
- Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the Building Code of Australia and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturers specification means a current approved specification for use under the conditions applicable.
- UNO = Unless Noted Otherwise.
 - DPC = Damp Proof Course.
 - OMP = Outer Most Point.
- 7. It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services
- 8. Provide a Thermostatic mixing valve to all the hot water outlets.

These plans are to be read in conjuction with any structural and civil engineering computions and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

Note: all towel rails are to function as grab rails, blocking is to be provoided for secure fixing

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

Provide articulation joins to engineers details

All works shall comply with but not limited to the National Construction Code, the Building Code of Australia, referenced standards and the Australian Standards listed below.

- AS 1288 1994 GLASS IN BUILDINGS SELECTION AND INSTALLATION
- AS 1562 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 1999 NATIONAL TIMBER FRAMING CODE
- AS 2049 1992 ROOF TILES
- AS 2050 1995 INSTALLATION OF ROOF TILES
- AS 2870 1996 RESIDENTIAL SLAB AND FOOTINGS CONSTRUCTION
- AS /NZS 2904 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 1994 CONCRETE STRUCTURES
- AS 3660 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 1998 MASONRY IN BUILDINGS
- AS 3786 1993 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 4055 1992 WIND LOADING FOR HOUSES
- AS 4100 1996 STEEL STUCTURES

THESE DRAWINGS ARE TO BE READ IN CONJUCTION WITH THE

BASIX REPORT PREPAIRED BY FRYS ENERGYWISE.

ALL WORKS ARE TO COMPLY WITH N.S.W. STATE ENVIRONMENTAL PLANNING POLICY (S.E.P.P.) (HOUSING FOR SENIORS OR PEOPLE WITH DISABILITY) - 2004

Revision Number	Revision Description	Revision Date
Α	Working Drawings	20/12/16
В	Move clothsline	01/02/17
С	Remove Tiles from Watertank/ Clothsline Area	07/02/17

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Sheet List Current Sheet Current Current evision Issued Sheet Name Revision Revision Date Number Title Page 07/02/17 ST Floor Plan 07/02/17 ST Elevations 20/12/16 SSH Α 20/12/16 SSH Elevations SSH Sections/Details 20/12/16 SSH Slab Plan Α 20/12/16 SSH Electrical Plan 20/12/16

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point
- where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- b. All remaining sizes of items deduced from Australian Domestic Construction Manual or
- relevant manufacturers specification.
- c. Sizes of timber members may vary upon ordering requirements but must remain within the guidelines of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 1998 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external
- wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within
- 300mm of articulation joints. Brick ties to be stainless steel or galvanized steel.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 1999 National timber framing code

WET AREA SURFACES

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with BCA 3.8.1.2 and AS 3740. Splashbacks shall be impervious
- for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

Legend:-

AC	Air Conditioning	NCC	National Construction Cod
AFL	Above Floor Level	NGL	Natural Ground Line
Α	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a
CSD	Cavity Sliding Door		sliding glass door or winde
D	Double Hung Window	SP	Steel Post
DP	Downpipe	TBC	To be confirmed
DW	Dishwasher	TR	Towel Rail/Nogging Positi
FG	Fixed Glass	UBO	Under Bench Oven
FSR	Floor Space Ratio	WO	Wall Oven
FW	Floor Waste	MW	Microwave
FWC	Feature Wall Colour	WM	Washing Machine
HWS	Hot Water System	WIR	Walk In Robe
LBW	Load Bearing Wall		



3D Front





Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

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				PLAN	V2015.A	ig Type	FION		
				FACADE	Metal Roo	of / Render			
	CURRENT REVISION /	INT REVISION / C 07/02/17	SCALE	1 : 100 oı	n A 3				
ISSUED DATE		07/02/17		DATE DRAWN	07/02/201	7	JOB #:	03	
REAL PROPERTY DESCRIPTION		PROPERTY LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	01

DI 441

Dwolling Type 1CB

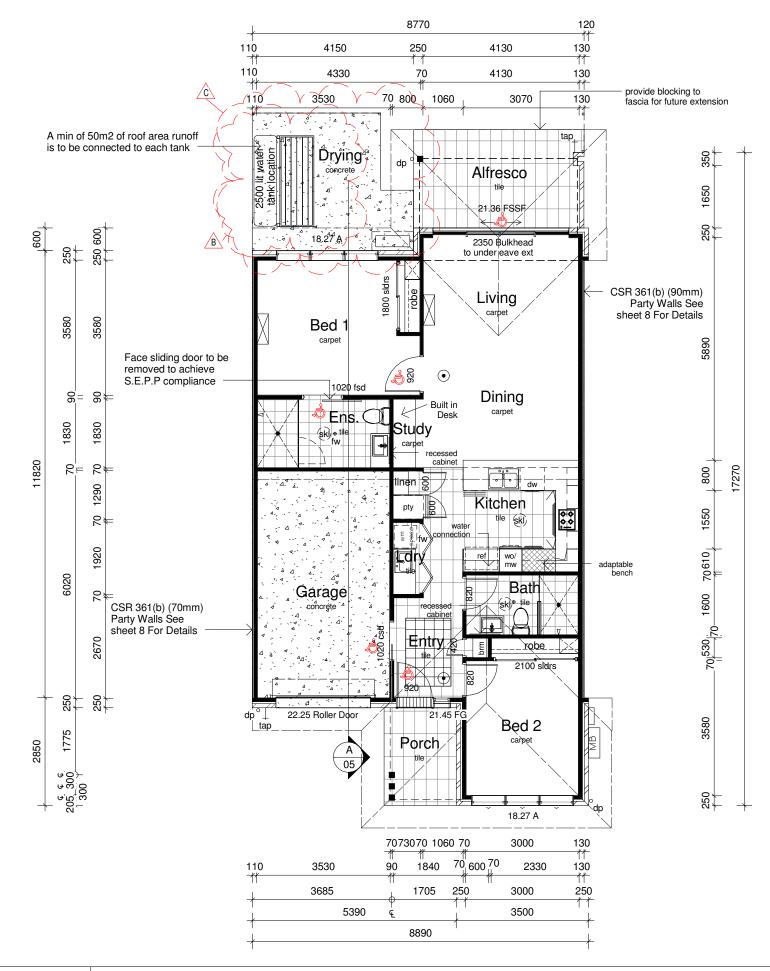
Area Schedule Name Area Squares					
Garage	23.23 m ²	2.50			
Alfresco	11.73 m²	1.26			
Porch	4.93 m ²	0.53			
	134.57 m²	14.48			

DOOR TO HAVE RECESSED THRESHOLD & COMPLY WITH AS 1428.2 & AS 4299 CLAUSES 4.3.1 & 4.3.2

GFA: 95.1m²

2 BED





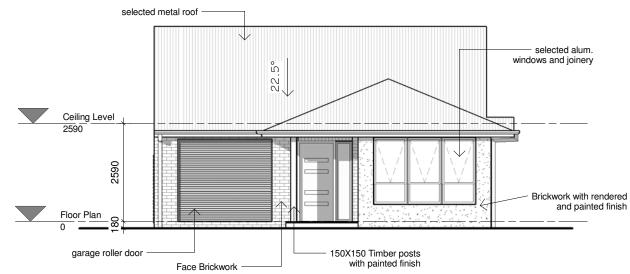




Shortland Waters Stage 2 - 2/90 Vale Street,
Brimingham Gardens, Shortland NSW 2307
Avec Detiroment Living

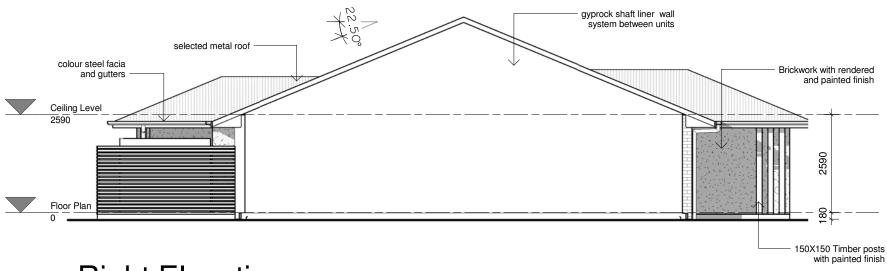
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			FACADE	Metal Roc	of / Render			
CURRENT REVISION / C 07/02/17		07/02/17	SCALE	As indicat	As indicated on A3			
ISSUED DATE			DATE DRAWN	07/02/201	7	JOB #:	03	
REAL PROPERTY DESCRIPTION	LOT / D	P	DRAWN	ST CHKD TS SI		SHEET#	02	

- · Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
 All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Front Elevation

1:100



Right Elevation

1:100

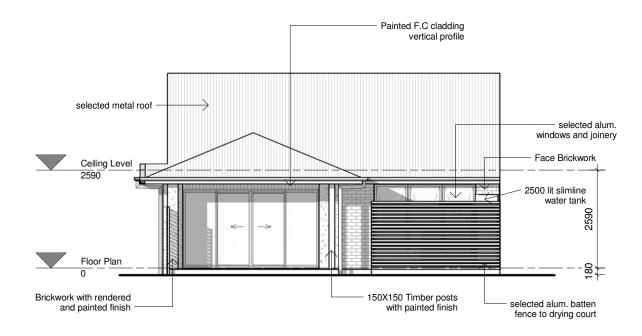




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

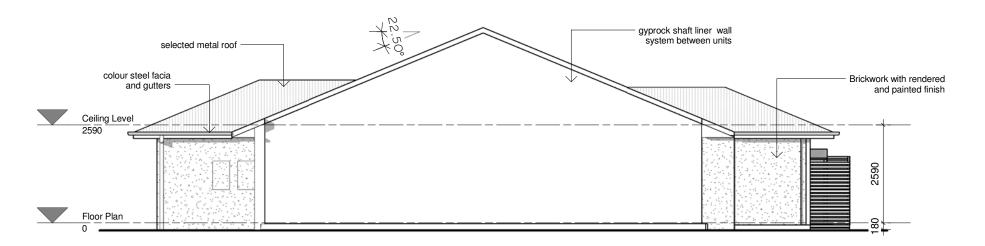
				PLAN	Dwellir V2015.A	ng Type	1CR		
				FACADE	Metal Roo	of / Render			
CURRENT REVISION / A 20/12/16		SCALE	1 : 100 or	1 : 100 on A3					
	ISSUED DATE	VISION / A 20/12/16		DATE DRAWN	07/02/201	7	JOB#:	03	
REAL PROPERTY DESCRIPTION LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	03		

- Refer to colour specifications schedule for detailed internal and external colours/materials
- Articulation joints as per engineering details
- · All opening windows in bedrooms with fall height of 2m or greater to be restricted to max 125mm opening (sliding windows with keyed vent locks; awning with ratchet restriction).



Rear Elevation

1:100



Left Elevation

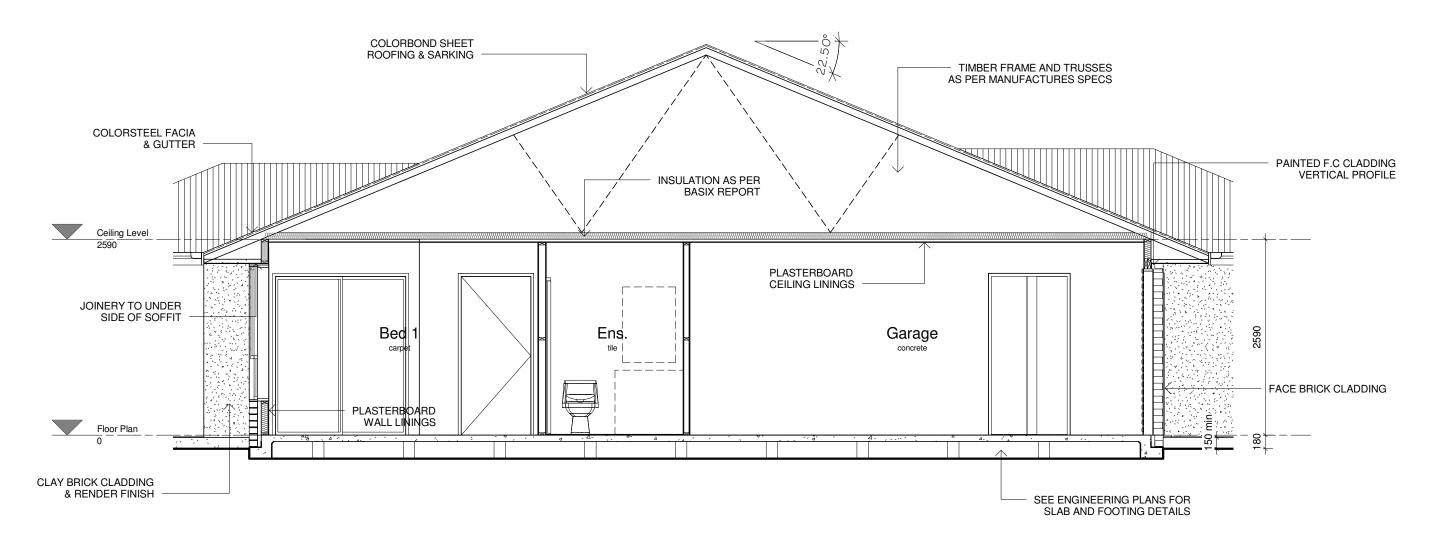
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Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

				PLAN	Dwellir V2015.A	ng Type	1CR		
				FACADE	Metal Roc	of / Render			
CURRENT REVISION / A 20/12/16		SCALE	1 : 100 or	1 : 100 on A3					
	ISSUED DATE	Α	20/12/10	DATE DRAWN	07/02/201	7	JOB #:	03	
REAL PROPERTY DESCRIPTION LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	04		



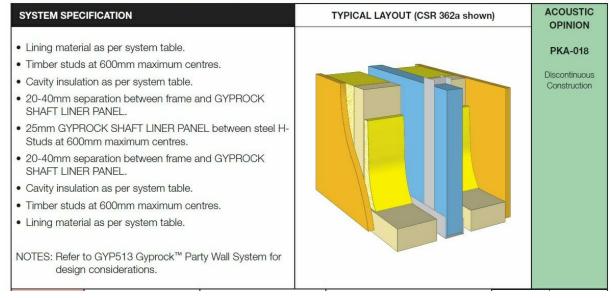
Section A-A

1:50

Party Wall (CSR 361(b) or Equal)

FRL	FRL SYSTEM		STUD DEPTH mm	70	90
Report/Opinion	N°	WALL LININGS	CAVITY INFILL Both sides (Refer to Section 'A')	R _w / F	R _w +C _{tr}
	CSR 361		(a) 75 Gold Batts™ 2.0	61/49	62/ 50
60/60/60		BOTH SIDES • 2 x 10mm GYPROCK	(b) 90 Gold Batts™ 2.7	62/ 50	63/ 51
EWFA 45743		Plasterboard CD.	(c) 88 Soundscreen™ 2.5	62/ 50	63/ 51
			WALL THICKNESS mm	245	285

Timber Frame Internal Wall Systems - Party Wall with 25mm Fire Barrier



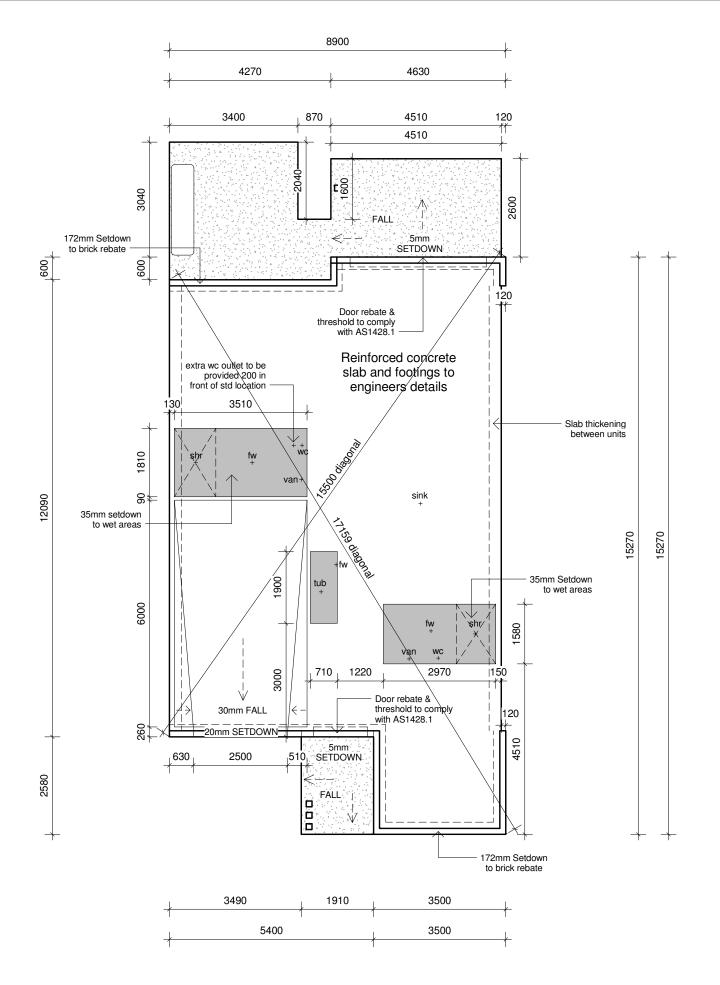




Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307

CURRENT REVISION / ISSUED DATE	Α	20/12/16
REAL PROPERTY DESCRIPTION	LOT / D	Р

PLAN	Dwelling Type 1CR V2015.A						
FACADE	Metal Roof / Render						
SCALE	1 : 50 on A3						
DATE DRAWN	07/02/2017 JOB #: 03						
DRAWN	ST CHKD TS SHEET # 05						
Diamin	0.	OT II KB	1.0	OHLLH II	-		



- all dimensions to be confirmed on site
 all construction to be as per soil engineers details
 slab and footings as per soil engineers designs
- termite protection as per AS 3660.1
- 35mm slab recess for wet areas
- this plan to be read in conjunction with the floor plans to confirm where all plumbing wastes, stepdowns &

SI	ab	Р	lan
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Retirement Living

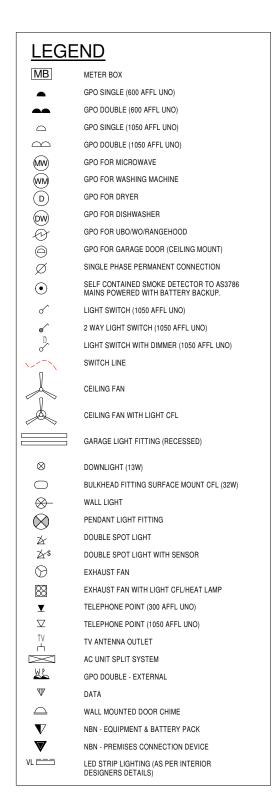


Shortland Waters Stage 2 - 2/90 Vale Street, Brimingham Gardens, Shortland NSW 2307 paladin projects

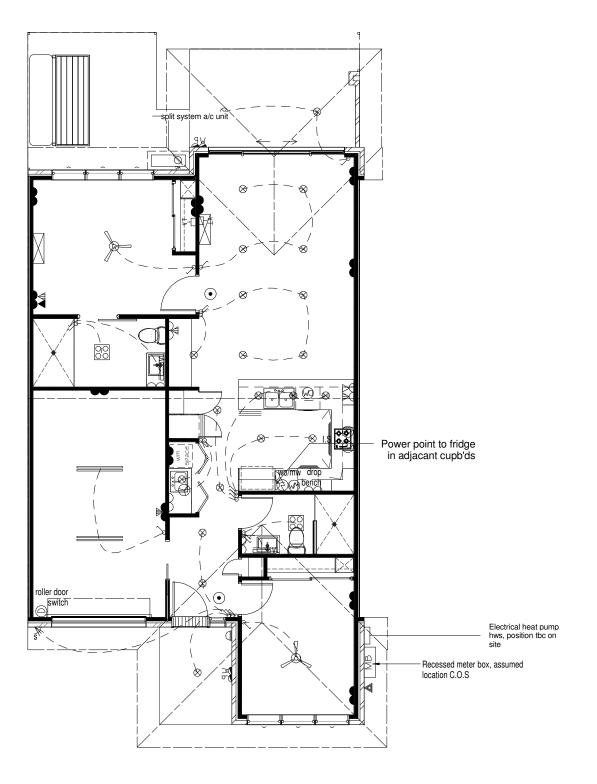
Aveo Retirement Living

				00415
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ISSUED DA	ISSUED DATE	^	20/12/10	DATE DF
	REAL PROPERTY	LOT (D	D	
DESCRIPTION		LOT / D	LOT / DP	

PLAN	Dwelling Type 1CR V2015.A						
FACADE	Metal Roof / Render						
SCALE	1 : 100 on A3						
DATE DRAWN	07/02/2017		JOB #:	03			
DRAWN	ST	CHKD	TS	SHEET#	06		



NOTE: REFER INTRERIOR DESIGNERS SCHEDULE FOR FIXTURE & FITTING SELECTIONS.



ELECTRICAL NOTES:

NOTE: USE LARGER SIZE SWITCHES AND POWER POINT THROUGHOUT. (REFER TO THE INTERIOR

NOTE: EXHAUST FAN TO BE SWITCHED ON WITH LIGHT TO BATHHROM AND WC

AT LEAST ONE GPO WITHIN THE KITCHEN IS TO BE LOCATED A MAXIMUM OF 300mm FROM THE FRONT OF THE BENCH.

-LIGHTING MUST ACHIEVE 300LUX IN LIVING & DINING AREAS & MASTER BEDROOM. -SWITCHES & CONTROLS TO BE 900-1100MM HIGH A.F.L -GPO'S AT LEAST 600mm HIGH A.F.L -ALL GPO'S/SWITCH POSITIONS TO BE > 500MM FROM AN INTERNAL CORNER. -GPO FOR REFRIGERATOR TO BE LOCATED SO THAT IT CAN BE REACHED WITH FRIDGE INSTALLED -ISOLATING SWITCH TO BE FITTED TO OVEN AND COOK TOP

ALL ELECTRICAL WORK TO COMPLY WITH THE REQUIREMENTS OF SEPP 5.

Note: Electrical plan to be read in conjunction with "Aveo Newcastle - scoping document" prepared by frontier networks.

Photoelectric smoke alarms to be installed in accordance with AS3786 and to be connected to consumer mains with battery back up. Interlink multiple alarms.

Electrical Plan

1:100





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		PLAN	Dwelling Type 1CR V2015.A						
			FACADE	Metal Roof / Render					
	CURRENT REVISION /	Α	20/12/16	SCALE	As indicated on A3				
ISSUED DATE	A 20/12/10	20/12/10	DATE DRAWN	07/02/2017		JOB#:	03		
	REAL PROPERTY DESCRIPTION	LOT / DP		DRAWN	ST	CHKD	TS	SHEET#	07